



Land Use

Courthouse Annex • 2045 13th Street • Boulder, Colorado 80302 • Tel: 303.441.3930 • Fax: 303.441.4856
Mailing Address: P.O. Box 471 • Boulder, Colorado 80306 • www.bouldercounty.org

**BOULDER COUNTY BOARD OF REVIEW
A G E N D A**

Tuesday, December 8, 2015
Afternoon Session – 3:30 P.M.
Caribou Room, 2nd Floor, Courthouse Annex, 2045 13th St.

1. **Call to Order by the Chair**
2. **Roll Call of Board Members Present by the Secretary of the Board**
3. **Approval of Minutes.** Review of minutes for the October 13, 2015 Board of Review Public Meeting

PUBLIC HEARING
4. **APPEAL OF BUILDING OFFICIAL'S INTERPRETATION REGARDING BUILDING PERMIT BP-15-1022, AUSBERGER, 684 LAKEVIEW DRIVE**
5. **Other Business**
6. **Adjourn**

Detailed information regarding these items, including maps and legal descriptions, is available for public examination on the Boulder County Land Use website at <http://www.bouldercounty.org/lu> or at our office located at 2045 13th Street, Boulder, Colorado 303-441- 3930.

Webpage: www.bouldercounty.org/lu/agendas/index.htm



Land Use

Courthouse Annex • 2045 13th Street • Boulder, Colorado 80302 • Tel: 303.441.3930 • Fax: 303.441.4856
Mailing Address: P.O. Box 471 • Boulder, Colorado 80306 • www.bouldercounty.org

Building Safety and Inspection Services Division (303) 441-3925

Boulder County Board of Review

Minutes

Tuesday October 13, 2015

4:15 PM

Board of County Commissioners Hearing Room
3rd Floor, Main Courthouse, 1325 Pearl St, Boulder, CO 80302

On October 13, 2015, the Boulder County Board of Review met for a public meeting and to **take action and make a formal recommendation to the Board of County Commissioners on the 2015 Updates and Amendments to the Boulder County Building Code, as contained in proposed BOCC Resolution 2015-104.**

The meeting convened at 4:19 P.M.

Board Members Present: Henry Lopez, Douglas Greenspan, John Matthews, Gary Price and Bob Hunnes. Vern Seieroe was absent.

Staff Present: Gary Goodell (Chief Building Official), Ron Flax (Building Sustainability Examiner), Katherine Parker (Assistant Boulder County Attorney), Michelle Huebner (Plans Examiner Supervisor), Leslie Cline (Permit Specialist), Rick Hackett (Communications Specialist), Brian Nye (Building Inspector Supervisor), Dan Mastin (Plans Examiner).

Interested Others Present: 3 members of the public.

1. Call to Order

Henry Lopez called the meeting to order. Gary Goodell conducted roll call of board members present.

2. Approval of Minutes

Approval of board of Review Minutes from September 22, 2015.

Motion: John Mathews moved to approve the minutes.

Second: Gary Price.

Approved: Motion passed unanimously.

3. BORC-15-0001: 2015 INTERNATIONAL CODES ADOPTION & AMENDMENTS AND PROPOSED BOCC RESOLUTION 2015-104

Gary Goodell provided copies of the proposed resolution to the Board. Gary addressed the 3 items the Board had concerns with:

1. 2015 Colorado Design Snow Loads Report. Although we'd like to use the latest snow load data available, the current study is still out for review and thus hasn't been finalized to date. In addition, staff hasn't had time to assess the potential impacts. The potential impact is that much of the plains area of the county could be raised from the current 30 psf rating to a 40 psf rating. The slight lowering of the existing snow loads in the mountainous portions of the county are probably not worth changing. One issue that has been raised is the impact on existing buildings or homes that were designed and constructed with the 30 psf snow load, but would be required to meet a 40 psf snow load for projects like reroofing or installing solar PV panels on existing roofs. Kathy Parker, Assistant County Attorney, has recommended adding the wording "as amended" to our text descriptions of the existing snow and wind load maps and that that will give us more flexibility in updating the maps in the future. We have now incorporated that language into proposed BOCC Resolution 2015-104. Rather than rush to incorporate the new data without further study and discussion of its potential impacts, staff will come back to the Board of Review as soon as possible when we are better prepared to discuss it, so we are proposing that the new snow load data and accompanying snow load changes not be incorporated into the proposed BOCC Resolution 2015-104 at this time.

2. and 3. "Thick Walls" and Basements. Staff is proposing that a single solution be used to address these two (2) issues. It is proposed that the definition of "*conditioned floor area*" be revised as follows:

CONDITIONED FLOOR AREA. The horizontal projection of the floors associated with the *conditioned space*. For the purposes of this chapter, the *conditioned floor area* shall be measured as the floor area within the inside face of the interior *air barrier*.

This proposed revision does a number of things:

- a. It defines "*conditioned floor area*" as exactly what it is. The area inside of the interior drywall is exactly the amount of floor area that is conditioned.
- b. It somewhat lessens HERS rating requirements for all projects by removing the area of what is most typically an 8-inch-thick exterior wall. The "average" new home with 4,000 sq. ft. of conditioned floor area would typically have about 200 sq. ft. subtracted from the area that determines the HERS rating that must be achieved.
- c. It provides more incentive for "thick walls" that are more carbon friendly (but have less *R*-value per inch), such as strawbale walls or walls insulated with cellulose insulation, by not penalizing them for their additional wall thickness. Under the proposed definition, a strawbale wall 16½ inches thick, for instance, would result in a 412-sq.-ft. reduction in the amount of conditioned floor area for an "average" 4,000 sq. ft. dwelling.
- d. In order to meet either prescriptive or HERS rating requirements, a typical 8-inch-thick concrete foundation wall is typically furred out with 2 X 4s with insulation in the stud cavities, resulting in a 12-inch-thick wall. An average 4,000-sq.-ft. house would see a 300-sq.-ft. reduction in the area that is counted as *conditioned floor area*.

Note that other methods of giving basement walls more credit as being more energy efficient as well as more economically efficient are fraught with additional complexities. Is the basement a walkout? Is it a "raised ranch?" What percentage of the wall area is actually below grade? Staff

would rather give this credit by crediting the inherently thicker basement walls, and it is felt that the new definition of *conditioned floor area* accomplishes this.

Gary gave the Board direction as to what actions they may take; approval, approval with conditions or disapproval.

Gary concluded the staff presentation with the staff recommendation. **STAFF RECOMMENDATION: Staff recommends that the Board of Review recommend to the Board of County Commissioners APPROVAL of Docket #BOR-15-0001, the 2015 amendments to the Boulder County Building Code, and that the Board of County Commissioners ADOPT the proposed BOCC Resolution #2015-104.**

- 4. Board Action: The Boulder County Board of Review recommended to the Board of Boulder County Commissioners to approve Docket #BOR-15-0001 and to adopt these building code proposals as BOCC Resolution #2015-104.**

Motion: Gary Price

Second: John Mathews

The motion passed unanimously.

5. Board Questions and Discussion

Henry suggested that the applicant could submit the conditioned space calculations with the drawings. The board had concerns with “repairs” due to damage pushing the project into BuildSmart requirements. Ron Flax clarified that the EnergySmart assessment is to be used as a tool to educate the homeowner as to which energy efficient options are available if he were to choose to incorporate them into the project. Ron also clarified how the HERS score change as a result of the basement turning into a walkout basement and can cause problems for the contractor. Henry mentioned that it would be easier if all jurisdictions were using the same frost depth. Bob brought up the idea of moving to a 6-year code adoption cycle and Gary G. suggested possibly addressing it when they reconvened to discuss the wind & snow loads.

Adjourned

Motion: Bob Hunnes moved to adjourn.

Second: John Matthews.

The meeting was adjourned at 5:15 P.M.

The official record of this meeting is on compact disc (CD). Detailed information regarding the docket items, including maps and legal descriptions are available for public use at the Land Use Department, 13th and Spruce, Boulder, CO. 303-441-3930.



Land Use

Courthouse Annex • 2045 13th Street • Boulder, Colorado 80302 • Tel: 303.441.3930 • Fax: 303.441.4856
Mailing Address: P.O. Box 471 • Boulder, Colorado 80306 • www.bouldercounty.org

Building Safety & Inspection Services Team

**BOULDER COUNTY BOARD OF REVIEW
APPEAL FOR BP-15-1022, AUSBERGER,
684 LAKESHORE DRIVE**

**PUBLIC HEARING
December 8, 2015 - 4:15 p.m.
Caribou Room, Second Floor
Boulder County Courthouse Annex
Land Use Dept. - 2045 13th St
Boulder, Colorado 80302**

STAFF: Gary Goodell, Chief Building Official

RE: STAFF RECOMMENDATION, APPEAL OF BUILDING OFFICIAL'S INTERPRETATION, BP-15-1022, 684 LAKESHORE DRIVE

APPLICANT: James M. Ausberger, Registered Architect, LEED-AP, ICC-Certified Building Plans Examiner

DISCUSSION:

The subject property at 684 Lakeshore Drive has a site plan review ("SPR") approval from the year 2000, SPR-00-054, for a 4,000-sq.-ft. dwelling, including a 2,800-sq.-ft. dwelling and a 1,200-sq.-ft. detached garage. Part of the narrative submitted by the applicant at the time included the proposed phasing for the project, which reads as follows:

"This project will be constructed in (2) phases. The garage will be built first and used as a staging area for construction of the principal structure. According to the building department, it will have to be classified as an R-3 occupancy. A shower will be included in the garage, and will be removed upon completion of the principal structure. At that time, the garage will be reclassified as an auxiliary building."

Building permit BP-00-1182 was issued on September 1, 2000 for a 1,100-sq.-ft. dwelling and a Certificate of Occupancy was issued on September 1, 2006. Note that this structure is essentially the one that was approved in the SPR as a detached garage. If the entire project had been built at that time, including the 2,800-sq.-ft. dwelling, the dwelling would have been required to be equipped with an automatic fire sprinkler system, as the Boulder County Building Code included fire sprinkler requirements for new structures with 3,600 sq. ft. or more in total floor area, including the area of detached structures within 50 feet.

The property is currently occupied by the 1,100-sq.-ft. existing dwelling. The construction proposed under building permit application BP-15-1022 is to add 2,865 square feet of new construction to the existing dwelling, connected to the existing construction by an 8-ft.-wide breezeway, and convert the existing dwelling to an attached garage and/or studio. The proposed construction is a new self-contained dwelling unit, complete with a kitchen, laundry, 2 bathrooms and 3 bedrooms.

The applicant seeks to have the new dwelling unit considered to be an “addition.” If the construction is classified as an addition, the applicant would be able to avoid Boulder County Building Code requirements for:

1. The installation of an automatic fire sprinkler system for a new dwelling, which is not required for an addition to an existing dwelling unless the total square footage is 4,800 sq. ft. or greater, and
2. More stringent Buildsmart requirements for a lower (more energy efficient) HERS rating of 51 under the performance path or for meeting prescriptive path requirements.

It has been unclear through the plan review process whether the breezeway attachment is to be conditioned space or how much decommissioning is to be done to the existing dwelling. These design decisions by the applicant appear to be driven primarily by a desire to avoid the fire sprinkler requirement and achieve less restrictive BuildSmart requirements, particularly with regard to not being required to install solar photovoltaic (“PV”) panels.

STAFF RECOMMENDATION:

Staff recommends that the Board of Review DISAPPROVE the appeal for the following reasons:

1. It has been clear from the time of the SPR application in 2000 that the applicant’s intention is to build a new single-family dwelling.
2. The proposed construction is a complete new single-family dwelling and thus is subject to current Boulder County Building Code requirements, including the installation of an automatic fire sprinkler system, meeting the applicable BuildSmart residential energy efficiency and sustainability requirements and meeting any other applicable minimum code requirements for a new dwelling.
3. There is no question of practical difficulty under Boulder County Building Code Section 104.10, “Modifications,” as building a 2,865-sq.-ft. dwelling that meets current code requirements is entirely feasible, as evidenced by the 109 new single-family dwelling permits that have been issued since the current minimum building code requirements became effective.
4. There is no equivalency argument, as might be demonstrated under Boulder County Building Code Section 104.11, “Alternate Materials, Design and Methods of Construction and Equipment,” as, for instance, not installing fire sprinklers is not equiva-

lent to installing fire sprinklers, and having a HERS rating of 68 is not equivalent to achieving the required HERS rating of 51 for a new 2,865-sq.-ft. dwelling.

GRG:grg

- Attachments:
1. Appeal application materials, October 29, 2015
 2. Plan Review Deposit Payment Receipt, June 17, 2015
 3. SPR-00-054 Records
 4. Original plan submittal, BP-15-1022, June 17, 2015
 5. Revised plan sheets, August 5, 2015
 6. Plan review summary memo, Jon Rasmussen, November 20, 2015

RECEIVED

OCT 29 2015

Boulder County Land Use Department
Building Safety and Inspection Services Division
2045 13th Street - 13th & Spruce Streets - Courthouse Annex
P.O. Box 471 - Boulder, CO 80306
(303) 441-3925 / Fax (303) 441-4856 / e-mail: gdglu@co.boulder.co.us

BOULDER COUNTY
BUILDING SAFETY



APPLICATION FORM APPEAL TO THE BOULDER COUNTY BOARD OF REVIEW

Applicant/Property Owner(s): James Ausberger

Street Address: 684 Lakeshore Dr. City: Boulder State: CO Zip Code: 80302

Phone Number: 303-675-0041 Fax Number: _____ E-mail: jausberger@VTBS.com

Agent/Consultant (if any): _____

Street Address: _____ City: _____ State: _____ Zip Code: _____

Phone Number: _____ Fax Number: _____ E-mail: _____

Address of Subject Property: _____

Associated Building Permit Number: BP- 15 - 1022

DESCRIPTION OF APPEAL: (Please describe situation in detail, cite applicable code section(s), etc. Attach additional sheets, justification, documentation, photos, etc., as necessary)

Letter & Supporting Documents Attached: Treatment of Residential Addition as New Construction.

I certify that the information and exhibits I have submitted are true and correct to the best of my knowledge. In filing this application, I am acting with the knowledge and consent of those persons who are owners of the subject property or are parties to this application. I understand that all materials required by Boulder County must be submitted prior to having this matter processed. I understand that a public hearing will be required.

Signature(s):  Date: 10-29-15

BOULDER COUNTY BUILDING CODE (from Chapter 1, 1997 Uniform Building Code, as amended)

104.2.7 Modifications. When there are practical difficulties involved in carrying out the provisions of this code, the building official may grant modifications for individual cases. The building official shall first find that a special individual reason makes the strict letter of this code impractical and that the modification is in conformance with the intent and purpose of this code and that such modification does not lessen any fire-protection requirements or any degree of structural integrity. The details of any action granting modifications shall be recorded and entered in the files of the code enforcement agency.

104.2.8 Alternate materials, alternate design and methods of construction. The provisions of this code are not intended to prevent the use of any material, alternate design or method of construction not specifically prescribed by this code, provided any alternate has been approved and its use authorized by the building official.

The building official may approve any such alternate, provided the building official finds that the proposed design is satisfactory and complies with the provisions of this code and that the material, method or work offered is, for the purpose intended, at least the equivalent of that prescribed in this code in suitability, strength, effectiveness, fire resistance, durability, safety and sanitation.

The building official shall require that sufficient evidence or proof be submitted to substantiate any claims that may be made regarding its use. The details of any action granting approval of an alternate shall be recorded and entered in the files of the code enforcement agency.

104.2.9 Tests. Whenever there is insufficient evidence of compliance with any of the provisions of this code or evidence that any material or construction does not conform to the requirements of this code, the building official may require tests as proof of compliance to be made at no expense to this jurisdiction.

Test methods shall be as specified by this code or by other recognized test standards. If there are no recognized and accepted test methods for the proposed alternate, the building official shall determine test procedures.

All tests shall be made by an approved agency. Reports of such tests shall be retained by the building official for the period required for the retention of public records.

SECTION 105 - BOARD OF REVIEW

105.1 General. Appeals to the Board of Review may be taken by a person aggrieved by his inability to obtain a building permit or by an officer or department, board or bureau of the County affected by the grant or refusal of the building permit because of non-compliance with the Boulder County Building Code. Any person, officer or department, board or bureau may appeal to the Board of Review from the decision of any enforcement of the provisions of the Building Code. Such appeals must be made within fourteen (14) days from the date of grant or refusal of the building permit or decision. Such appeals shall be in writing directed to the secretary of the Board of Review and shall state the basis for appeal.

105.2 Interpretations, Alternate Materials and Methods of Construction and Modifications. The Board of Review, in appropriate cases and subject to appropriate principles, standards, rules, conditions and safeguards set forth in the building code, may make interpretations of the terms of the building code in harmony with their general purpose and intent. The Board of Review may also approve of alternate materials or methods of construction or modifications provided the Board finds that the alternate material or method of construction or modification meets the standards found under Sections 104.2.7 or 104.2.8, respectively, of this code.

105.3 Limitations of Authority. The board of review shall have no authority relative to interpretation of the administrative provisions of this code nor shall the board be empowered to waive requirements of this code.

105.4 Amendments to the Code. The Board of Review is authorized to formulate suggested amendments to the Building Code for consideration by the Board of County Commissioners.

105.5 Additional Authority. The Board of Review may adopt substantive rules and regulations based upon the provisions of the Building Code adopted by the Board of County Commissioners. In no case, however, shall these rules become effective unless a public hearing thereon has been conducted by the Board of Review. Notice of the hearing stating its time and place and where the text of the proposed substantive rules and regulations may be inspected shall be given in the same manner as provided in the initial adoption of the code.

October 29, 2015

Henry Lopez, Secretary
Boulder County Board of Review

Re: 684 Lakeshore Dr.
Boulder County Permit # BP-15-1022
Second Plan Review Requested Changes

Board of Review Members,

I am writing this letter after receiving a final determination on October 16th regarding a comment noted during the second plan check review, "The proposed addition will be reviewed as a New Single Family Dwelling". In the initial review, the project was considered an addition. I have met with Jon & Gary, questioned the treatment, and requested a code basis for such a decision. At no time has a code reference been provided, nor has alternate design criteria to meet the definition been clarified.

Per the approved Site Plan Review, a 5,200sf project is allowed. Per Boulder County approved code amendments, fire sprinklers are not required for additions when total project size is less than 4,800sf. Once the addition is completed, this project will total 3,800sf, of which 2,720sf will be conditioned. I do not believe that the project is legally required to have fire sprinklers. In addition, I believe that my energy rater, George Scott, is correct in his professional assessment that the project needs to meet a HERS rating of 80, per Table 2 of the Boulder County Buildsmart Code. Table 1 applies only to additions that exceed 3,000 sqft of conditioned space.

Per IRC 2012 (Chapter 2), the definition of Addition reads:

"An extension or increase in floor area or height of a building or structure."

Per 2012 Boulder County Amendments to the Building Code (Section N1101.3.1), the definition of Addition reads:

"The placement of or fabrication of a structure that adds floor area to an existing structure."

By either of these adopted definitions, the project qualifies as an addition. The existing structure is a single-family dwelling. After the addition, it will continue to serve as a single-family dwelling with an attached garage. Only one structure will exist on site, for which the certificate of occupancy has been issued. Gas and electric service entrances are in place, with no modifications proposed.

In the fall of 2014, I began a dialogue with the Building Department regarding the project with the intent of streamlining the permit process. During phone conversations, I described the project and permit specialists told me that my project would qualify as an addition if the new construction immediately adjacent to the existing structure have the ability to be conditioned to 85 degrees. If a covered deck connection was designed, the project would be treated as a separate building. With criteria stated, the design process ensued. In February, I visited the building department with 11x17" plans to verify acceptance. Dan Mastin confirmed that the project as designed would be considered an addition. On June 17, Bill Meyers performed a preliminary review of the project at check-in, verified the HERS requirements, and confirmed the project met performance standards. He accepted the project as an addition. After completion of the first review, the project was treated as an addition. It was not until the second review that treatment changed.

On August 18, a letter requesting the basis of interpretation was sent to Gary Goodell per the request of Jon Rasmussen. No published basis for altering from the legally adopted definition of "addition" was provided. The decision was based on interpretation, with no design criteria provided to clearly delineate new construction from that of additions. Although the IRC does allow for such interpretation when clarity is lacking, it does not authorize deviation from provisions within the code.

Per 2012 IRC, Section 104.1: "The building official is hereby authorized and directed to enforce the provisions of this code. The building official shall have the authority to render interpretations of this code and to adopt policies and procedures in order to clarify the application of its provisions. Such interpretations, policies, and procedures shall be in conformance with the intent and purpose of this code."

The decision by Gary differs from a clear definition within the code. If an alternate definition is enforced, it needs to be legally adopted and published for the benefit of all. Clarity invokes minimal controversy. Until the time of adoption, it is unjust to require property owners to design buildings and their associated performance standards to interpretive definitions lacking transparent criteria. Vagueness is a troublesome reference standard.

As a 25 year resident of Boulder County and a 15 year property owner, I have been attempting to follow direction provided by the Building Department. I intend to build to the code and will surpass it by choice based upon rationale. I have visited the Building Department, prepared drawings, and hired consultants based on the verification that was provided. What is a landowner to do when an official changes an unreferenced standard? The code is meant to protect us, both from life safety hazard and political invention. If the definition of addition was critical to the Building Department, why is it published as stated? Why was contradictory information provided? Why was the project accepted as an addition? Why was the deposit check cashed? If this administrative decision is enforced, who is going to pay for the redesign requirements to meet these new unpublished standards? I have incurred over \$2,500 in design fees. The scheduled start of a project has been delayed a full season. And I have worked over 120 hours based on information provided, equating to roughly \$14,000 in billable time.

Matters such as this are important to the residents of the Boulder County. During construction of the first phase of this project, the Building Department and its inspectors were helpful and appreciated. No one wants to fail an inspection, but more importantly, no one wants to live in an unsafe environment. Should one have to build to unreferenced standards? To build an addition, should one be required to become an inefficient energy provider? With modern construction standards, is the risk of internal fire so great that it is unsafe to live in an addition without sprinklers within 4 miles of a professionally staffed fire station with a fire cistern on the premises? I ask for fairness. An existing definition is published, adopted, and the project meets it as designed. Trust and cooperation between residents and authorities empower everyone and foster productive relationships. Teamwork is a simple strategy with results far exceeding that of any autocracy.

Thank you for taking time to consider this matter.

Respectfully submitted,



James M. Ausberger, Registered Architect, LEED-AP, ICC Certified Building Plans Examiner

Part II—Definitions

CHAPTER 2 DEFINITIONS

SECTION R201 GENERAL

R201.1 Scope. Unless otherwise expressly stated, the following words and terms shall, for the purposes of this code, have the meanings indicated in this chapter.

R201.2 Interchangeability. Words used in the present tense include the future; words in the masculine gender include the feminine and neuter; the singular number includes the plural and the plural, the singular.

R201.3 Terms defined in other codes. Where terms are not defined in this code such terms shall have meanings ascribed to them as in other code publications of the International Code Council.

R201.4 Terms not defined. Where terms are not defined through the methods authorized by this section, such terms shall have ordinarily accepted meanings such as the context implies.

SECTION R202 DEFINITIONS

ACCESSIBLE. Signifies access that requires the removal of an access panel or similar removable obstruction.

ACCESSIBLE, READILY. Signifies access without the necessity for removing a panel or similar obstruction.

ACCESSORY STRUCTURE. A structure not greater than 3,000 square feet (279 m²) in floor area, and not over two stories in height, the use of which is customarily accessory to and incidental to that of the dwelling(s) and which is located on the same lot.

ADDITION. An extension or increase in floor area or height of a building or structure.

ADHERED STONE OR MASONRY VENEER. Stone or masonry veneer secured and supported through the adhesion of an *approved* bonding material applied to an *approved* backing.

AIR ADMITTANCE VALVE. A one-way valve designed to allow air into the plumbing drainage system when a negative pressure develops in the piping. This device shall close by gravity and seal the terminal under conditions of zero differential pressure (no flow conditions) and under positive internal pressure.

AIR BARRIER. See Section N1101.9 for definition applicable in Chapter 11.

AIR BREAK (DRAINAGE SYSTEM). An arrangement in which a discharge pipe from a fixture, *appliance* or device

drains indirectly into a receptor below the flood-level rim of the receptor, and above the trap seal.

AIR CIRCULATION, FORCED. A means of providing space conditioning utilizing movement of air through ducts or plenums by mechanical means.

AIR-CONDITIONING SYSTEM. A system that consists of heat exchangers, blowers, filters, supply, exhaust and return-air systems, and shall include any apparatus installed in connection therewith.

AIR GAP, DRAINAGE SYSTEM. The unobstructed vertical distance through free atmosphere between the outlet of a waste pipe and the flood-level rim of the fixture or receptor into which it is discharging.

AIR GAP, WATER-DISTRIBUTION SYSTEM. The unobstructed vertical distance through free atmosphere between the lowest opening from a water supply discharge to the flood-level rim of a plumbing fixture.

AIR-IMPERMEABLE INSULATION. An insulation having an air permeance equal to or less than 0.02 L/s-m² at 75 Pa pressure differential tested according to ASTM E 2178 or E 283.

ALTERATION. Any construction or renovation to an existing structure other than repair or addition that requires a *permit*. Also, a change in a mechanical system that involves an extension, addition or change to the arrangement, type or purpose of the original installation that requires a *permit*.

ANCHORED STONE OR MASONRY VENEER. Stone or masonry veneer secured with *approved* mechanical fasteners to an approved backing.

ANCHORS. See "Supports."

ANTISIPHON. A term applied to valves or mechanical devices that eliminate siphonage.

APPLIANCE. A device or apparatus that is manufactured and designed to utilize energy and for which this code provides specific requirements.

APPROVED. Acceptable to the *building official*.

APPROVED AGENCY. An established and recognized agency regularly engaged in conducting tests or furnishing inspection services, when such agency has been *approved* by the building official.

ASPECT RATIO. The ratio of longest to shortest perpendicular dimensions, or for wall sections, the ratio of height to length.

ATTIC. The unfinished space between the ceiling assembly of the top *story* and the roof assembly.

IRC Chapter 9 • Roof Assemblies

IRC Section R902 • Roof Covering Materials

R902.1 Roof covering materials. See Section R325.4.2 for roof covering materials in Wildfire Zone 1.

IRC Section R903 • Roof Drainage

R903.4.1.1 Sizing of roof drains, scuppers, and downspouts. The rainfall amount to be used to size roof drainage components in unincorporated Boulder County shall be 2.4 inches per hour.

IRC Chapter 11 • Energy Efficiency

2012 IRC Chapter 11 has been re-written in its entirety. This new version serves as Boulder County's energy code for one- and two-family dwellings and conditioned accessory buildings.

IRC Section N1101 General

N1101.1 Scope and Intent. This Chapter 11 implements the provisions of the "Boulder County BuildSmart" program. BuildSmart serves the County's stated goals of promoting and encouraging high performing, sustainable residential development and redevelopment in the unincorporated areas of Boulder County by: Promoting development that will create energy efficient structures that reduce both the production of greenhouse gases from residential buildings and the amount of material sent to landfills; Conserving water and other natural resources in the homebuilding process; and insuring proper indoor air quality. BuildSmart also furthers the goals and measures outlined in the Colorado Climate Action Plan and the County's Sustainable Energy Plan. The production and efficient use of energy will continue to play a central role in the future of Colorado and the nation as a whole. The development, production, and efficient use of renewable energy will advance the security, economic well-being, and public and environmental health of Colorado, as well as contributing to the energy independence of our nation. The 2010 revision to BuildSmart includes both a performance and a prescriptive option for compliance, providing additional flexibility in selection of the most cost-effective design for each project.

N1101.1.1 Requirements for all dwellings. Sections N1101.1 thru Section N1105.3 apply to the conditioned floor area for all one- and two-family dwellings and accessory buildings, as defined in IRC Section R202. Section N1105.2.5.3 provides a Performance Path Option for compliance. Section N1105.2.5.4 provides a Prescriptive Path Option for compliance.

N1101.2 Compliance. Compliance shall be demonstrated by meeting the requirements of this chapter for climate zone 5B.

N1101.3 Identification and definitions. Materials, systems, and equipment shall be identified in a manner that will allow a determination of compliance with the applicable provisions of this chapter.

N1101.3.1 Definitions. Unless otherwise expressly stated, the following words and terms shall, for the purposes of this code, have the meanings indicated in this chapter.

Addition

The placement of or fabrication of a structure that adds floor area to an existing structure. (See definition of floor area in Section R202).

Certified or Accredited Home Energy Rater

A residential energy professional who is certified by the Residential Energy Services Network (RESNET); also referred to as an Energy Rater.

Conditioned Floor Area

The floor area of a building that is heated or cooled or that is constructed with rough-in ducts or piping with the intent of it becoming heated or cooled at a future date. This includes: floor area with a fixed opening (such as a door or doorway) into heated or cooled space and unfinished basement space. Unenclosed unconditioned covered porches, decks and unconditioned garages are not considered conditioned floor area.

Deconstruction

The dismantling of an existing building or portion thereof without the use of heavy machinery or the destruction of the materials. Deconstruction includes the salvage of materials from the existing structure for recycling, resale, or reuse as an alternative to sending them to a landfill. There are two types of deconstruction, structural and non-structural deconstruction.

How To Use Figure 1:

First, calculate the Total Conditioned Floor Area of your project by adding the area of the addition to the area of the existing dwelling, then calculate the Percent of Increase to the Existing Structure by dividing the area of the addition by the area of the existing dwelling.

Take the results of these two calculations and plot their intersecting point on Figure 1 to determine the next steps for compliance.

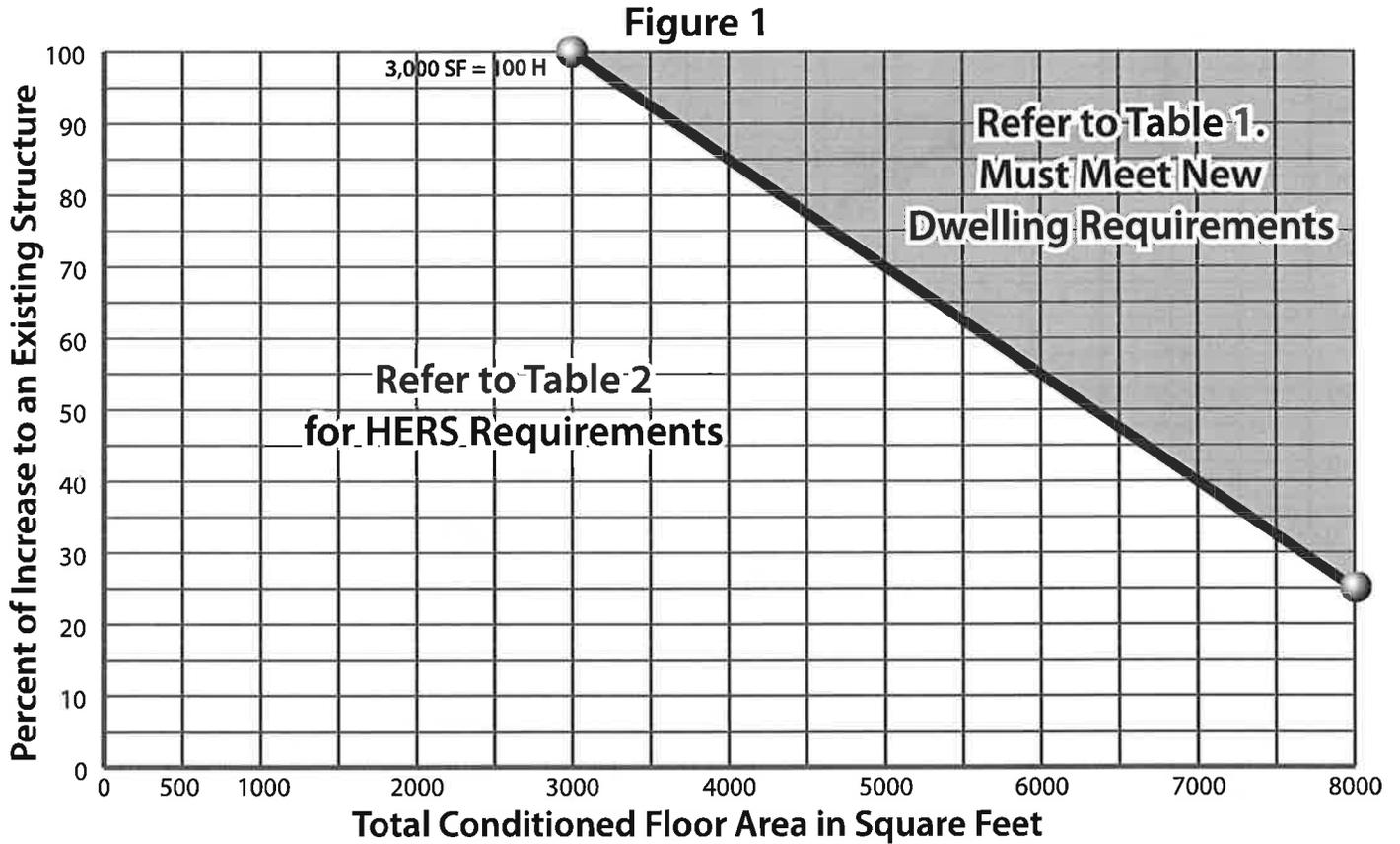


Table 1: HERS Rating Requirements for New Construction

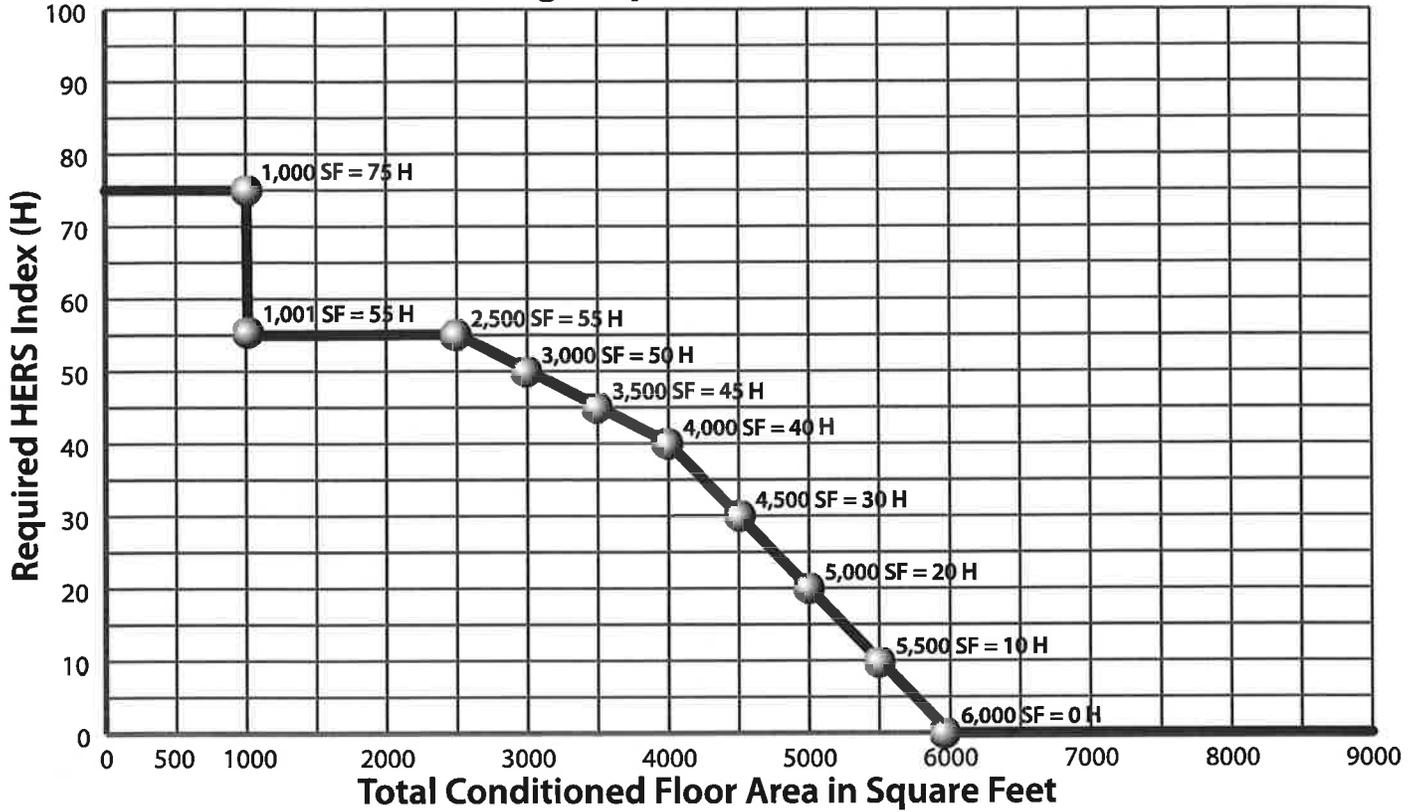
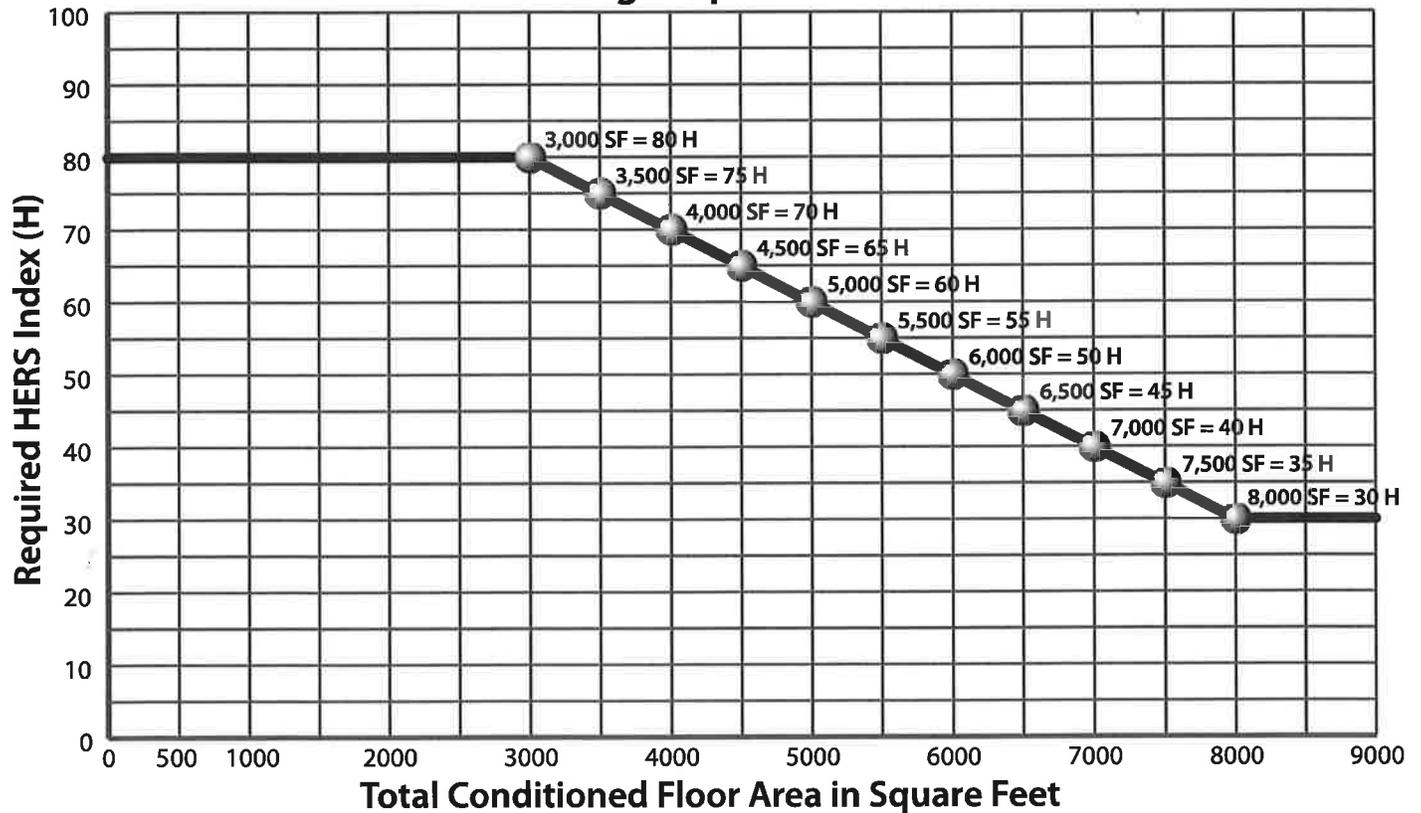


Table 2: HERS Rating Requirements for Additions





Land Use Department Building Safety

2045 13th Street • PO Box 471 • Boulder, Colorado 80302

303-441-3926 • www.bouldercounty.org/lu

Office Hours and Services:

- Monday - Friday 8 a.m. to 4:30 p.m.
- Closed Tuesdays 8 to 10 a.m.
- Permits can be applied for until 4 p.m.
- Permit applications are not accepted on Tuesdays.
- Plan Review is not available on Tuesdays.

Intake Stamp
 BP-15-1022
RECEIVED
 JUN 17 2015
 Permit #
 BOULDER COUNTY BUILDING DIVISION

Building Permit Application Form

Project Street Address: 684 LAKEHORE DR City: BOULDER State: CO Zip Code: 80302

Owner's Name Contact: JAMES AUSBERGER Contractor Name Contact: _____
 Address: 684 LAKEHORE DR Primary Phone Number: 303 675-0041 Boulder County Contractor License #: _____
 City: BOULDER State: CO Zip Code: 80302 Secondary Phone Number: _____
 Email Address: JJAUSBERGER@VTBS.COM Email Address: _____

Project Description: RESIDENTIAL ADDITION Project Valuation: \$ 206,508
 Project Includes: Plumbing Mechanical Electrical

Type of Project (Check Only One)	Type of Structure (Check Only One)
<input type="checkbox"/> (01) New Structure <input checked="" type="checkbox"/> (02) Addition to: _____ <input type="checkbox"/> (03) Remodel <input type="checkbox"/> (04) Electrical <input type="checkbox"/> (07) Deconstruction of Structure <input type="checkbox"/> (08) Change of Use <input type="checkbox"/> (09) Moved-in Structure	<input checked="" type="checkbox"/> (01) One Family Dwelling <input type="checkbox"/> (02) Two Family or Attached Dwelling (including townhouse) <input type="checkbox"/> (03) Three and Four Family Dwelling <input type="checkbox"/> (04) Hotel or Motel <input type="checkbox"/> (06) Amusement and Recreation Building <input type="checkbox"/> (07) Church and Other Religious Building <input type="checkbox"/> (08) Industrial Building, Manufacturing Plant, and Factory <input type="checkbox"/> (09) Service Station and Repair Garage <input type="checkbox"/> (10) Detached Garage <input type="checkbox"/> (12) Office, Bank, and Professional Building <input type="checkbox"/> (13) School <input type="checkbox"/> (14) Store, Customer Service <input type="checkbox"/> (15) Barn, Storage Shed, Outbuilding <input type="checkbox"/> (16) Mobile/Manufactured Home <input type="checkbox"/> (22) Public Works, Utility Building <input type="checkbox"/> (23) Pool, Hot Tub, Fence, Retaining Wall, Pump (Non-structure) <input type="checkbox"/> Other: _____

	Existing Building	New Construction	Existing & New Total
Height of Structure From Existing Grade:	<u>28</u> Ft.	<u>31</u> Ft.	<u>31</u> Ft.
Number of Bedrooms:	<u>0</u>	<u>3</u>	<u>3</u>
Number of Bathrooms:	<u>1</u>	<u>2</u>	<u>3</u>
Property Size:	<u>1,050</u> Sq. Ft.	<u>2,720</u> Sq. Ft.	<u>3,750</u> Sq. Ft.

Proposed New Building or Addition		
Structure	Size Finished	Size Unfinished
Basement:	Sq. Ft.	<u>600</u> Sq. Ft.
First Floor:	<u>1,520</u> Sq. Ft.	Sq. Ft.
Second Floor:	<u>600</u> Sq. Ft.	Sq. Ft.
Third Floor:	Sq. Ft.	Sq. Ft.
All Other Floors:	Sq. Ft.	Sq. Ft.
Garage:	Sq. Ft.	Sq. Ft.
Deck:	Sq. Ft.	Sq. Ft.
Covered Porch:	Sq. Ft.	Sq. Ft.

Setbacks (Distance of Project to Property Lines)			
	Front	Side	Rear
Existing:	<u>48</u> Ft.	<u>30</u> Ft.	<u>290</u> Ft.
Proposed:	<u>48</u> Ft.	<u>30</u> Ft.	<u>277</u> Ft.

Water Service (Check One)	Sewer Service (Check One)	Electrical Service (Check One)	Gas Service (Check One)	Access (Check One)
<input checked="" type="checkbox"/> Individual Well <input type="checkbox"/> Community Well <input type="checkbox"/> N/A <input type="checkbox"/> Public: _____	<input checked="" type="checkbox"/> Septic Tank <input type="checkbox"/> Vault <input type="checkbox"/> N/A <input type="checkbox"/> Public: _____	<input type="checkbox"/> Xcel Energy <input checked="" type="checkbox"/> United Power <input type="checkbox"/> Estes Park <input type="checkbox"/> Poudre Valley REA <input type="checkbox"/> Longmont <input type="checkbox"/> N/A	<input checked="" type="checkbox"/> Xcel Energy <input type="checkbox"/> Propane <input type="checkbox"/> N/A <input type="checkbox"/> Other: _____	<input checked="" type="checkbox"/> Existing Driveway <input type="checkbox"/> New Driveway <input type="checkbox"/> N/A <input type="checkbox"/> Other: _____

Certification: I certify that the above information is correct and agree to construct this building in accordance with the plot, building plans and specifications submitted herewith, and in strict compliance with all the provisions of the Zoning Ordinance, Building Code, and Health and Plumbing Regulations of Boulder County.

Applicant (Please Print): JAMES AUSBERGER Signature: _____ Owner Contractor Agent Date: 17 JUNE 2015

JAMES M. AUSBERGER
684 LAKESHORE DRIVE
BOULDER, CO 80302

BP-15-1022

1291
82-74583070

6-17 2015

© 2008 National Farm Organization, Inc. All Rights Reserved.

PAY TO THE
ORDER OF

BOULDER COUNTY TREASURER

\$ 500-

FIVE HUNDRED & 0/100

DOLLARS

Elevations Credit Union
2865 Diagonal Hwy
Boulder, CO 80304



CANYONLANDS NATIONAL PARK

FOR

⑆307074580⑆⑆008000⑆55880⑆ 1291

Chase 193583865 Boulder County

For Deposit Only
BOULDER COUNTY TREASURER
BOULDER COUNTY LAND USE



Boulder County Land Use Department
 Building Safety & Inspection Services
 Courthouse Annex Building
 2045 13th St. - P.O. Box 471
 Boulder, Colorado 80306-0471
 (t) 303-441-3925 - (f) 303-441-4856

Payment Receipt

Date: 6/17/2015
 Receipt No.: 83538
 Application Number: BP-15-1022

Description: Addition		
Application Type: Residential Addition		Building\Residential\Addition\NA
Property Address 684 LAKESHORE , MOUNTAINS		
Owner: AUSBERGER JAMES M 684 LAKESHORE DR BOULDER, CO 80302		
Items	Fees	Taxes
Application Deposit Fee	\$500.00	
Sub Total		\$500.00
Payment Method	Amount Paid	Comments
Check	\$500.00	
		Total Paid \$500.00

**Please refer to the Building Permit Application Number
when making inquiries or requesting inspections.**

Building Permit Application Number: **BP-15-1022**

Address: **684 LAKESHORE**

Office Hours: Monday-Friday 8:00 AM to 4:30 PM, Closed Tuesdays 8:00 to 10:00 AM
Permits can be picked up until 4:00 PM
 Building Safety & Inspection Services
 Courthouse Annex Building, 2045 13th St.
 (phone) 303-441-3925 - (fax) 303-441-4856
 (email) building_offical@bouldercounty.org
 (web) www.bouldercounty.org/lu

Up to date Building Permit information is available online.
 Search on your building permit number, using the Land Use Records Search page:
www.bouldercounty.org/live/property/pages/accela.aspx

SITE PLAN REVIEW process tracking

SPR00054
docket

WRIGHT RESIDENCE & GARAGE
project

Wolf
Planner

4000 SQFT RESIDENCE
Above grade 2800 SF Below Grade 1200 SF

OTHER 1200 SF GARAGE

1200 SQFT GARAGE

PROPERTY ADDRESS 6881 Lakeshore Dr. ACRES 1.94

LOCATION LAKE SHORE PARK SUBD. Lot 10 Bk 1 STR 17-15-7111

ZONING F ASSR ID 24611 TAX AREA 0181 PARCEL # 1579-17-001-009

FPD Cherrydale FILENAME .ref BUILDING PERMIT# BP -

Affidavit Required for Garage - NOT TO BE A RESIDENCE

NEARBY SPRD 97-114 MENG RESIDENCE (384 sq ft) OTHER PR 94 -

3/24 Application submitted

BOCC HEARING appeal call-up

Placed on HOLD reason

Hearing date set for at Info. to Jane

Processing RESUMED

Notices printed, sent to: Applicant/Agent Referral Agencies APO's

4/11 Referral deadline

Staff Rec. / Packets, sent to: BOCC/Manager/Director Applicant / Agent

3/27 APO map/labels IMPACT entry PACKETS sent - Trans, POS, Hlth, FPD EXTRA PACKETS sent to:

TABLED HEARINGS

Chris White

Tabled to at

4/12 LUA DETERMINATION sent to:

Notices printed, sent to: Applicant/Agent Referral Agencies APO's

4/12 Applicant / Agent BOCC Referral Agencies APO's Letter Log

Tabled to at

Notices printed, sent to: Applicant / Agent APO's Referral Agencies

BOCC DETERMINATION, sent:

Applicant / Agent Letter Log

Packet for the State Forest Service

†Fold Up †

†Fold Up †

†Fold Up †



Land Use Department

Courthouse Annex

2045 13th Street • 13th & Spruce Streets • Boulder, Colorado 80302 • (303) 441-3930

MEMO TO: County Transportation, Health and Parks Departments, and Cherryvale FPD.
FROM: Jennifer Wolf, Staff Planner
DATE: March 27, 2000
RE: Site Plan Review application SPR-00-054.

Docket SPR-00-054: WRIGHT RESIDENCE & GARAGE Site Plan Review

Request: Site Plan Review for the construction of a 4,000 sq. ft. residence (Above Grade 2,800 sq. ft. / Below Grade 1,200 sq. ft. / Finished Floor Area 2,800 sq. ft. / Unfinished Floor Area 1,200 sq. ft.) and a 1,200 sq. ft. garage (Above Grade 1,200 sq. ft. / Finished Floor Area 1,200 sq. ft.)
Location: At 684 Lakeshore Drive, Lot 10, Block 1 of Lakeshore Park Subdivision in Section 17, T1S, R71W
Zoning: Forestry (F)
Applicant: Laura Elisabeth Wright & James M. Ausberger

Site Plan Review by the Boulder County Land Use Director is required for new building / grading / access or floodplain development permits in the plains and mountainous areas of unincorporated Boulder County. The review considers potential significant impact to the ecosystem, surrounding land uses and infrastructure, and safety concerns due to natural hazards.

The Land Use staff values comments from individuals and referral agencies. Please check the appropriate response below or send a letter. Late responses will be reviewed as the process permits; all comments will be made part of the public record and given to the applicant. Only a portion of the submitted documents may have been enclosed; you are welcome to review the entire file at the Land Use Department, 13th and Spruce, Boulder.

Please return responses to the above address by April 11, 2000.

_____ We have reviewed the proposal and have no conflicts.

_____ Letter is enclosed.

Signed _____ PRINTED Name _____

Agency or Address _____



BOULDER COUNTY LAND USE DEPARTMENT
 2045 13th Street / 13th & Spruce Streets / Courthouse Annex
 P.O. Box 471 / Boulder, Colorado 80306
 (303) 441-3930 / Fax (303) 441-4856

SHADED AREAS FOR STAFF ONLY

IN TAKE STAMP

APPLICATION FORM

APPLICATION DEADLINE
FIRST WEDNESDAY OF THE MONTH - 4:30
 Does not apply to Exemption Plats, Site Plan Reviews,
 Limited Impact Special Reviews, or Subdivision Exemptions

MAR 24 2000
 BY 8/25/00

PROJECT NUMBER		PROJECT NAME	
<input type="checkbox"/> BOA VARIANCE/APPEAL <input type="checkbox"/> EXEMPTION PLAT <input type="checkbox"/> LIMITED IMPACT <input type="checkbox"/> LOCATION & EXTENT <input type="checkbox"/> RESUBDIVISION (REPLAT)		<input type="checkbox"/> REZONING <input type="checkbox"/> ROAD NAME CHANGE <input checked="" type="checkbox"/> SITE PLAN REVIEW <input type="checkbox"/> SPECIAL USE/SSDP <input type="checkbox"/> SUBDIVISION EXEMPTION	
<input type="checkbox"/> SUBDIVISION SKETCH PLAN <input type="checkbox"/> SUBDIVISION PRELIMINARY PLAN <input type="checkbox"/> SUBDIVISION FINAL PLAT <input type="checkbox"/> VACATION		<input type="checkbox"/> OTHER:	
LOCATION(S) - STREET ADDRESS(ES) 684 LAKESHORE DRIVE			
BOULDER COUNTY, CO			
SUBDIVISION NAME LAKESHORE PARK			
LOT(S) 10	BLOCK(S) 1	SECTION(S)	TOWNSHIP(S)
AREA IN ACRES 1.94	EXISTING ZONING F	EXISTING USE OF PROPERTY N/A	NUMBER OF PROPOSED LOTS N/A
PROPOSED WATER SUPPLY WELL		PROPOSED SEWAGE DISPOSAL METHOD SEPTIC	

APPLICANTS

APPLICANT/PROPERTY OWNER LAURA ELIZABETH WRIGHT			STREET ADDRESS 1000 MAXWELL 23	
CITY BOULDER	STATE CO	ZIP CODE 80304	PHONE NUMBER (303) 492-8457	FAX NUMBER ()
APPLICANT/PROPERTY OWNER JAMES M AUSBERGER			STREET ADDRESS 1000 MAXWELL 23	
CITY BOULDER	STATE CO	ZIP CODE 80304	PHONE NUMBER (303) 545-0299	FAX NUMBER (303) 545-0255
APPLICANT/PROPERTY OWNER			STREET ADDRESS	
CITY	STATE	ZIP CODE	PHONE NUMBER ()	FAX NUMBER ()
APPLICANT/PROPERTY OWNER			STREET ADDRESS	
CITY	STATE	ZIP CODE	PHONE NUMBER ()	FAX NUMBER ()
APPLICANT/PROPERTY OWNER			STREET ADDRESS	
CITY	STATE	ZIP CODE	PHONE NUMBER ()	FAX NUMBER ()

CERTIFICATION

I certify that the information and exhibits I have submitted are true and correct to the best of my knowledge. In filing the application I am acting with the knowledge and consent of those persons who are owners of the subject property or are parties to this application. I understand that all materials required by Boulder County must be submitted prior to having this matter processed. I understand that public hearings or meetings may be required. I understand that additional fees or materials may be required as a result of considerations which may arise in the processing of this docket. I understand that the road, school and park dedications may be required as a condition of approval.

I understand that I am consenting to allow the County Staff involved in this application or their designees to enter onto and inspect the subject property at any reasonable time, without obtaining any prior consent.

SIGNATURE X	DATE 3/23/00
SIGNATURE X	DATE 3/24/00

PLEASE NOTE

● PLEASE REFER TO THE REGULATIONS AND APPLICATION SUBMITTAL PACKAGE FOR COMPLETE APPLICATION REQUIREMENTS ●

● PLEASE SEE BACK ●



Site Plan Review Checklist

<p>Preapplication Planner:</p> <p>Name <u>Glen Segura</u></p> <p>Date <u>12/14/99</u></p>	<p>Type of Proposal: (Preapplication Planner will fill in appropriate bubble)</p> <p> <input type="radio"/> New Residence <input type="radio"/> New Non-residential Structure <input type="radio"/> New Accessory Structure(s) <input type="radio"/> Addition <input type="radio"/> Flood Plain Development Permit <input type="radio"/> Access Permit <input type="radio"/> Grading <input type="radio"/> Change of Use <input type="radio"/> Other _____ </p>
--	---

● Submitting the Application

Follow the four steps listed in this checklist and supply the requested information. Your preapplication meeting planner will determine and initial what site specific items will be needed. When you finish these steps and are ready to submit your Site Plan Review application, be sure to include:

THIS CHECKLIST - You will need to supply one photocopy of the checklist (keep the original for your files) filled out by the pre-application planner with your application. Be sure to sign and date it at the end.

APPLICATION FEE - (Make checks payable to the Boulder County Treasurer) Fees are \$250 for earthwork review and structures under 1,800 sq. ft. or \$475 for structures over 1,800 sq. ft.

Enclosed Fee(s): \$ 475

- CAUTION:** The Application Fee is nonrefundable. Do not apply until you are sure that:
- 1) you have a legal building lot (see Step One);
 - 2) you have legal access to the parcel;
 - 3) a Limited Impact Special Use Review is not required (if grading involves more than 500 cubic yard of cut and fill); and
 - 4) a Special Use Review is not required. A single family dwellings will typically not trigger Special Use Review.

As you go through this list, check each box to indicate that the item or information has been included in your application.

● First Step: Obtain Building Lot Information

Building lot status is reviewed by the Land Use Office to determine whether the lot was created in accordance with the laws of the State of Colorado and Boulder County. In making this determination, the Land Use staff looks at three things: 1) size of your lot, 2) the year the lot was created and 3) whether or not the lot is in a County recognized subdivision. On occasion, deeds for all properties touching the subject lot are reviewed as well. *Note: having an existing house or other improvements on a property is not a guarantee that the lot would be recognized as a legal building lot.*

Please submit *with your Site Plan Review Application, one copy of the following* (if initialed by the preapplication planner):

_____ **Building Lot Determination** - A letter from the Land Use Department verifying that the lot being reviewed is a legal building lot. To obtain this letter, follow the directions in the Building Lot Determination application form and handout entitled "Legal Building Lots." A determination usually takes 10-14 days, so its wise to submit the request as early as possible - your Site Plan Review will not begin until the determination is issued.

✓ GHS **Deeds for the lot from July 6, 1995 to the present**
If in a county approved subdivision only. Note that townships are not county approved subdivisions.

_____ **Copy of current deed**

Second Step: Organize Referral Packets

Number of Packets:

Based upon the location and type of project, please submit 6 packets (minimum of 5 copies), each with items 1-6 listed on this page. These should be stand-alone packets that various referral agencies can glance at and have a fairly complete concept of the project. Your application will not be processed without all the information in this section (unless crossed-out by the planner).

Extra Packets to be sent to:
(for office use only)

- 1. APPLICATION FORM** - Be sure to include the name, address, and signature of the current owner of record.
- 2. VICINITY MAP** - Shows the project location relative to the entire county. A photocopy of the County Road Map or Pierson Map is adequate for this purpose. Use a large, highly visible "X" to mark the area of your proposal.
- 3. LOCATION MAP** - Shows actual parcel and how to access it from major roads. A photocopy of the Zoning Map or a parcel map is adequate for this purpose. Outline the boundaries of the property in bold or highlighter.
- 4. FACT SHEET** - This form is included in this packet and serves as a quick reference for staff review. Be sure to fill in the spaces with "0" or "N/A" rather than leave them empty. If there is additional information we should know, or if you have special circumstances, include a letter of explanation to facilitate processing.
- 5. ELEVATION DRAWINGS*** - Drawings that show all four sides of the exterior of your building (side views). For additions to existing structures, be sure to clearly indicate which portions are existing and which are new. *See handout titled "Building Height Restrictions" for more information.*
All Four Elevations must show:
 Existing grade Structure height above existing grade Finished grade Materials & colors Standard Scale^{*}
- 6. SITE PLAN*** - Check off each element in the box below that is represented on your site plan while putting a line through the items that do not apply to your project. *Each of the elements below should be checked or have a line through them.*

Basic Elements of a site plan:

- | | | | |
|---|--|---|--|
| <input checked="" type="checkbox"/> North Arrow | <input checked="" type="checkbox"/> Dimensions of property | <input checked="" type="checkbox"/> Standard scale [*] | <input checked="" type="checkbox"/> Size of property in acres |
| <input checked="" type="checkbox"/> Name of Project | <input checked="" type="checkbox"/> Preparation Date | <input checked="" type="checkbox"/> Address | <input checked="" type="checkbox"/> Use of land and structures |

Existing Features - on or adjacent to your property:

- | | | |
|--|--|---|
| <input checked="" type="checkbox"/> Adjacent roads and/or streams | <input checked="" type="checkbox"/> Gulches/washes/drainages | <input checked="" type="checkbox"/> Adjacent railroad tracks, power lines |
| <input checked="" type="checkbox"/> Ponds/lakes/dams/wetlands | <input checked="" type="checkbox"/> Existing structures | <input checked="" type="checkbox"/> Existing roads and/or driveways |
| <input checked="" type="checkbox"/> Utilities - active and inactive | <input checked="" type="checkbox"/> Easements (access/utility) | <input checked="" type="checkbox"/> Rights of Way |
| <input checked="" type="checkbox"/> Existing utility lines | <input checked="" type="checkbox"/> Irrigation ditches | <input checked="" type="checkbox"/> Existing well and/or septic |
| <input checked="" type="checkbox"/> Rock outcroppings/cliffs | <input checked="" type="checkbox"/> Existing vegetation | <input checked="" type="checkbox"/> Rivers/creeks/streams |
| <input checked="" type="checkbox"/> Fences | <input checked="" type="checkbox"/> Floodplains and Floodways | |

Proposed/New Modifications & Improvements - Please show dimensions of structures, driveway, parking areas, septic:

- | | | |
|--|--|---|
| <input checked="" type="checkbox"/> Structures | <input checked="" type="checkbox"/> Roads, driveways (12' width min.) | <input checked="" type="checkbox"/> Parking Areas |
| <input checked="" type="checkbox"/> Fences | <input checked="" type="checkbox"/> Utility lines (electric/sewer/water) | <input checked="" type="checkbox"/> Septic Field |
| <input checked="" type="checkbox"/> Well | <input checked="" type="checkbox"/> Grading - areas of cut and fill | <input checked="" type="checkbox"/> Landscaping |
| <input checked="" type="checkbox"/> Distances from structures to lot lines | | |

Be sure to include the following on the site plan if initialed by the preapplication planner:

- 6HS Existing and proposed contour lines at a maximum interval of 5 feet for 50 feet around all areas of disturbance (i.e. structures, leach field, driveway). The remainder of the property may have greater contour intervals such as an overlay of a 40 foot interval USGS map. *(required for all mountainous properties)*
- 6HS Location & Dimensions of cistern, fire hydrants, turn-outs, and turn-arounds - as specified on the handout entitled "Driveway Access for Emergency Vehicles." *(required for all mountainous properties)*
- ~~Location of any Natural Resources - as listed in the Natural Resource Element of the Boulder County Comprehensive Plan.~~

* If plans are larger than 8.5 X 11, then they need to be folded (not rolled) to fit into an 8.5 X 11 envelope.

* avoid awkward scale sizes such as 3/16" = 1'; use standard scales such as 1/4" = 1' or 1" = 10'

Third Step: Gather Additional Required Information

Include one copy with your Site Plan Review application of each item below initialled by the preapplication planner. The planner will only initial the items if they are relevant to your lot or project.

- _____ Letter of verification of a search of the Inventory of Cultural Resources (Archaeological/Historical)- Please contact the Colorado Historical Society at 866-5216 to obtain this letter.
- _____ Cross-sections & calculations used to derive earthwork figures. If the project is close to 500 cubic yards (the trigger for Limited Impact Special Review), the county may also require calculations from a certified engineer to verify that Limited Impact Special Review is not required.
- _____ Verification of Legal Access - A deed or easement granting the right to cross neighbors' property and a title commitment/insurance which covers access. *All deeds or easements must be recorded to be valid.*
- _____ Traffic calculations - Certified by a registered transportation engineer (non-residential uses)
- _____ Occupant load calculations - According to Uniform Building Code (non-residential uses)
- _____ Daily wastewater flow calculations
- _____ Narrative description of the proposed use of the property.
- _____ Other _____

Fourth Step: Stake Proposed Improvements

PROPERTY WILL BE STAKED WITHIN 4 DAYS OF SUBMITTING APPLICATION

- Mark the location of all proposed structures (including cistern, well, & septic) on your property, using brightly colored and labeled (i.e. "NW corner of residence") stakes. In most instance, only the four outermost corners are needed.
- Proposed driveways are to be staked at the centerline every 20 feet. Include dimensions of parking areas and, if the project is located in the mountains, the dimensions of emergency turn-out & turn-arounds.
- During the months of October through April, stakes must protrude at least 4' above ground to clear snow cover.
- If your proposal is on an undeveloped parcel, please mark the location for the driveway entrance in a manner that is clearly visible from the access road. A small sign with the applicant's name is helpful for staff to locate the site.
- *Additions and accessory buildings are not exempt from this requirement.*

Also...

PRIOR TO BUILDING PERMIT: As part of your Site Plan Review determination, many of the following items are typically required prior to Building Permit issuance. However, we strongly recommend that one copy of this information be included with your SPR application. Your Site Plan Review application will still be processed even if this information is not included.

- Erosion control plan - formulate a plan consistent with the County handout titled "Elements of a Successful Revegetation Plan."
- Landscape plan - a plan which shows the location of any proposed trees or shrubs.
- Lighting plan for all exterior lighting - a plan as indicated in Land Use handout titled "Lighting Requirements."
- Color chips/samples - indicating exterior roofing and siding colors (*these samples must be flat & able to fit in an 8.5 X 11 file*).

Certification

I certify that the information submitted is complete and correct. I agree to clearly mark the property (if not addressed or already built on) and the location of the proposed structures and driveways on the site before or within four days of submitting this application. I understand that the intent of the Site Plan Review process is to address the impacts of location and type of structures, and that modifications may be required. Site work will not be done prior to issuance of a permit.

Signature _____ Date 3/23/00

SUPPLIED HANDOUTS (to be filled out by planner):

- Fire Access/Cistern
- Revegetation
- Lighting
- Elevations
- Grading
- Building Lot Determination
- Home Occupation
- Building Height

This document prepared by:
Boulder County Land Use Dept.
Courthouse Annex, 13th and Spruce
Streets
PO Box 471/ Boulder, CO 80306
Phone: (303) 441-3930
Fax: (303) 441-4856
Web Site: <http://co.boulder.co.us/lw>

Office Hours:
Monday through Friday
8:00 AM to 4:30 PM

Oz-Wright Residence
Lot 10, Lakeshore Park Subdivision
684 Lakeshore Drive
Boulder, County CO

Narative:

Project Schedule:

This project will be constructed in (2) phases. The garage will be built first and used as a staging area for construction of the principal structure. According to the building department, it will have to be classified as an R-3 occupancy. A shower will be included in the garage, and will be removed upon completion of the principal structure. At that time, the garage will be reclassified as an auxiliary building.

Materials:

The roofing material was chosen to produce a weathered grey appearance over time, similar to that of many of the local mining communities.

Viewshed:

This lot is situated in a hidden valley and cannot be seen from any major mountain roads. The view from Flagstaff Road gets blocked at a location near the mailboxes.



Site Plan Review Fact Sheet

Each section of this Fact Sheet is required to be completed, even if the information is duplicated elsewhere in the application. Completed Fact Sheets cut application review time, and assist staff in expediting determinations. Please make duplicates of this page if the project involves more than two structures.

Structure Information

STRUCTURE #1:

TYPE OF STRUCTURE: RESIDENCE
(e.g. residence, studio, barn, etc. - if garage is detached, list as a separate structure)

TOTAL EXISTING FLOOR AREA: N/A sq/ft
(Finished + Unfinished sq.ft. - always include garage if attached)

PROPOSED FLOOR AREA <i>(new construction only)</i>				Height above existing grade	Materials, exterior walls (e.g. wood, stucco, ect.)
	Finished sq/ft	Unfinished (include att. gar.) sq/ft	total sq/ft		
1st Floor	1900	N/A	1900	32'-10"	STUCCO/ CONCRETE
2nd Floor	900	N/A	900		CORREGATED METAL
Basement	N/A	1200	1200		Colors, exterior walls BUFF
total	2800	1200	4000		Colors, roofing ZINC FINISH

When completed, this structure will have a total of 3 bedrooms.

STRUCTURE #2:

TYPE OF STRUCTURE: GARAGE
(e.g. residence, studio, barn, etc. - if garage is detached, list as a separate structure)

TOTAL EXISTING FLOOR AREA: N/A sq/ft
(Finished + Unfinished sq.ft. - always include garage if attached)

PROPOSED FLOOR AREA <i>(new construction only)</i>				Height above existing grade	Materials, exterior walls (e.g. wood, stucco, ect.)
	Finished sq/ft	Unfinished (include att. gar.) sq/ft	total sq/ft		
1st Floor	900	N/A	900	25'-4"	STUCCO
MEZZANINE					CORREGATED METAL
2nd Floor	300	N/A	300		Colors, exterior walls BUFF
Basement	N/A	N/A	N/A		Colors, roofing ZINC FINISH
total	1200	N/A	1200		

When completed, this structure will have a total of 0 bedrooms.

Project Identification

Project Name:
OZ-WRIGHT RESIDENCE

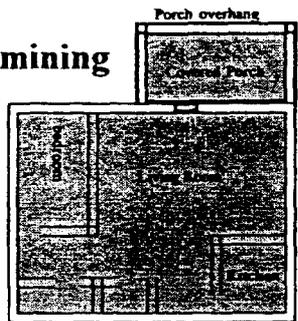
Property Address/Location:
684 LAKESHORE DRIVE
LAKESHORE PARK SUBDIV

Current Owner:
LAURA ELIZABETH WRIGHT
JAMES M AUSBERGER

Size of Property in Acres:
1.94 ACRES

Determining Floor Area:

Floor area is measured in terms of square



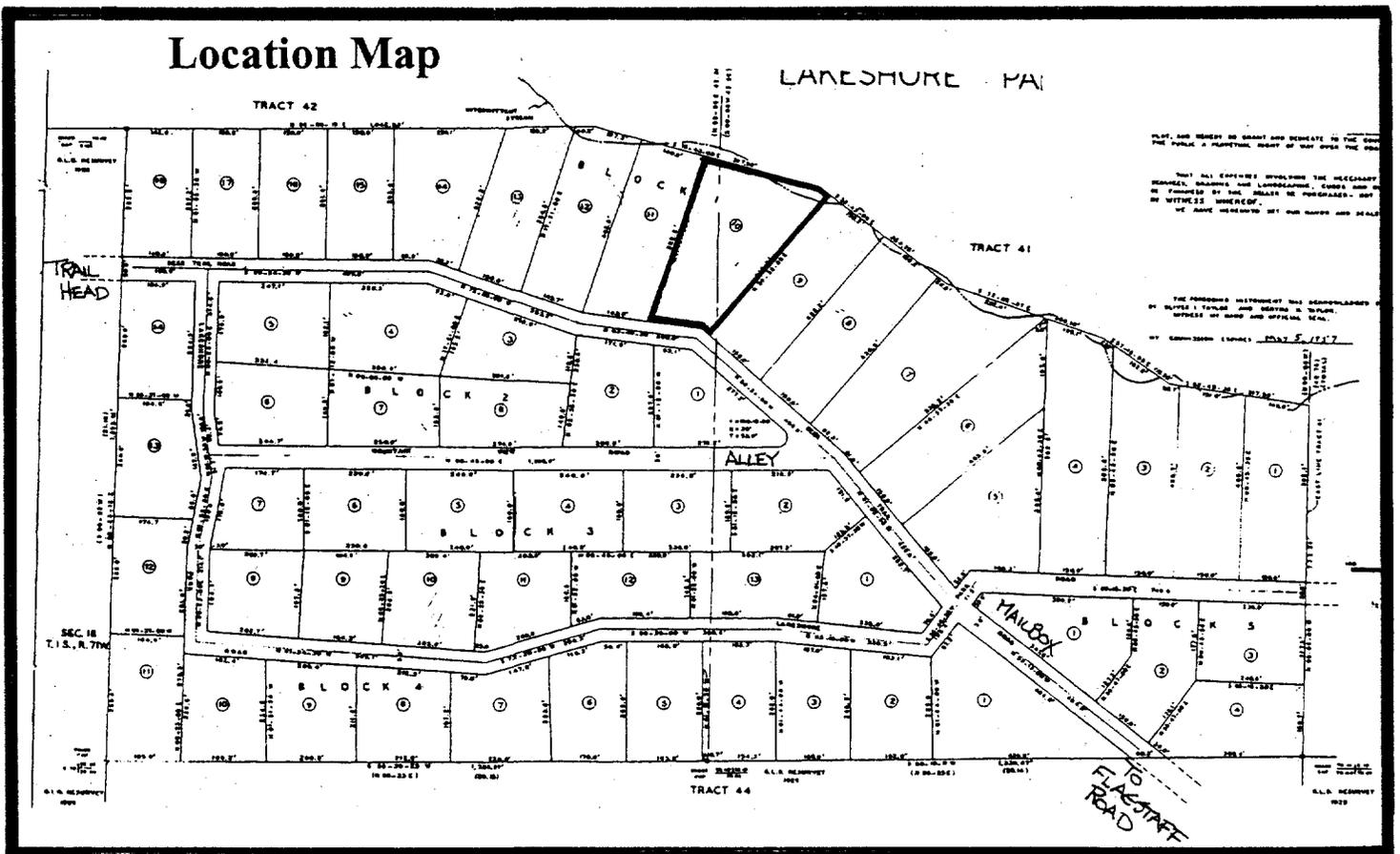
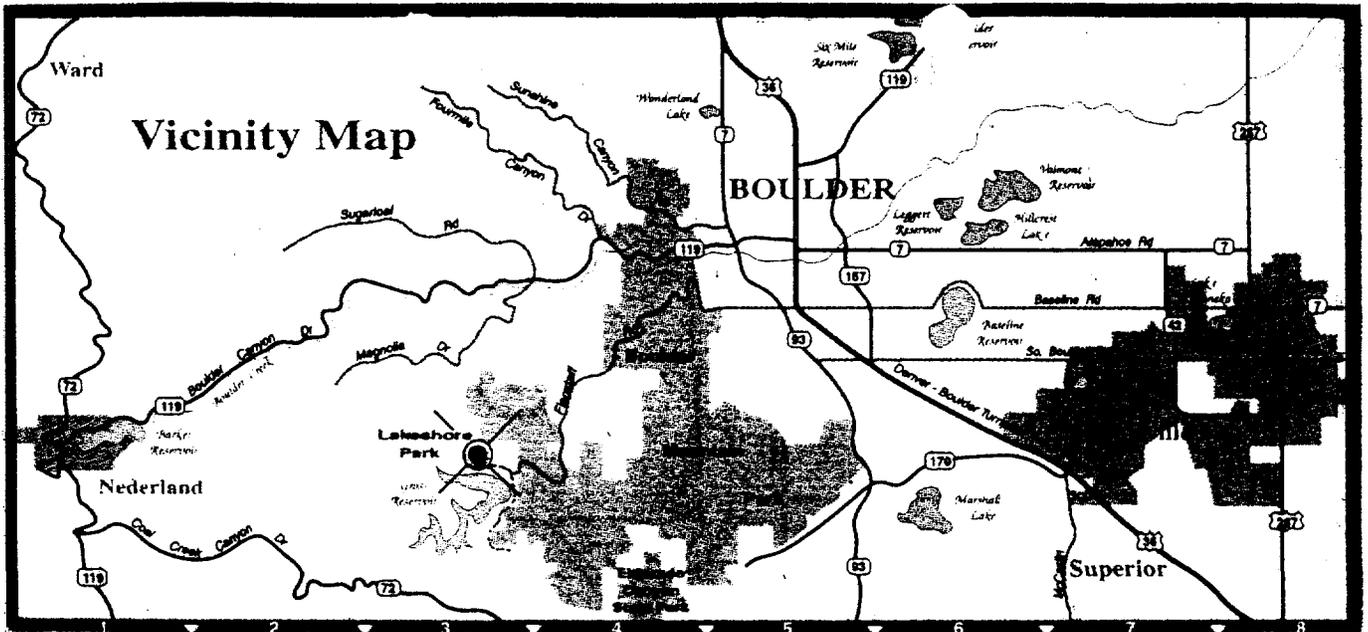
feet as everything within the inside of the outside walls and includes covered porches. The shaded area on the diagram above indicates the area counted as square feet.

This document prepared by:
Boulder County Land Use Dept.
Courthouse Annex, 13th and Spruce Streets
PO Box 471
Boulder, CO 80306
Phone: (303) 441-3930
Fax: (303) 441-4856
Web Site: <http://co.boulder.co.us/lu/>

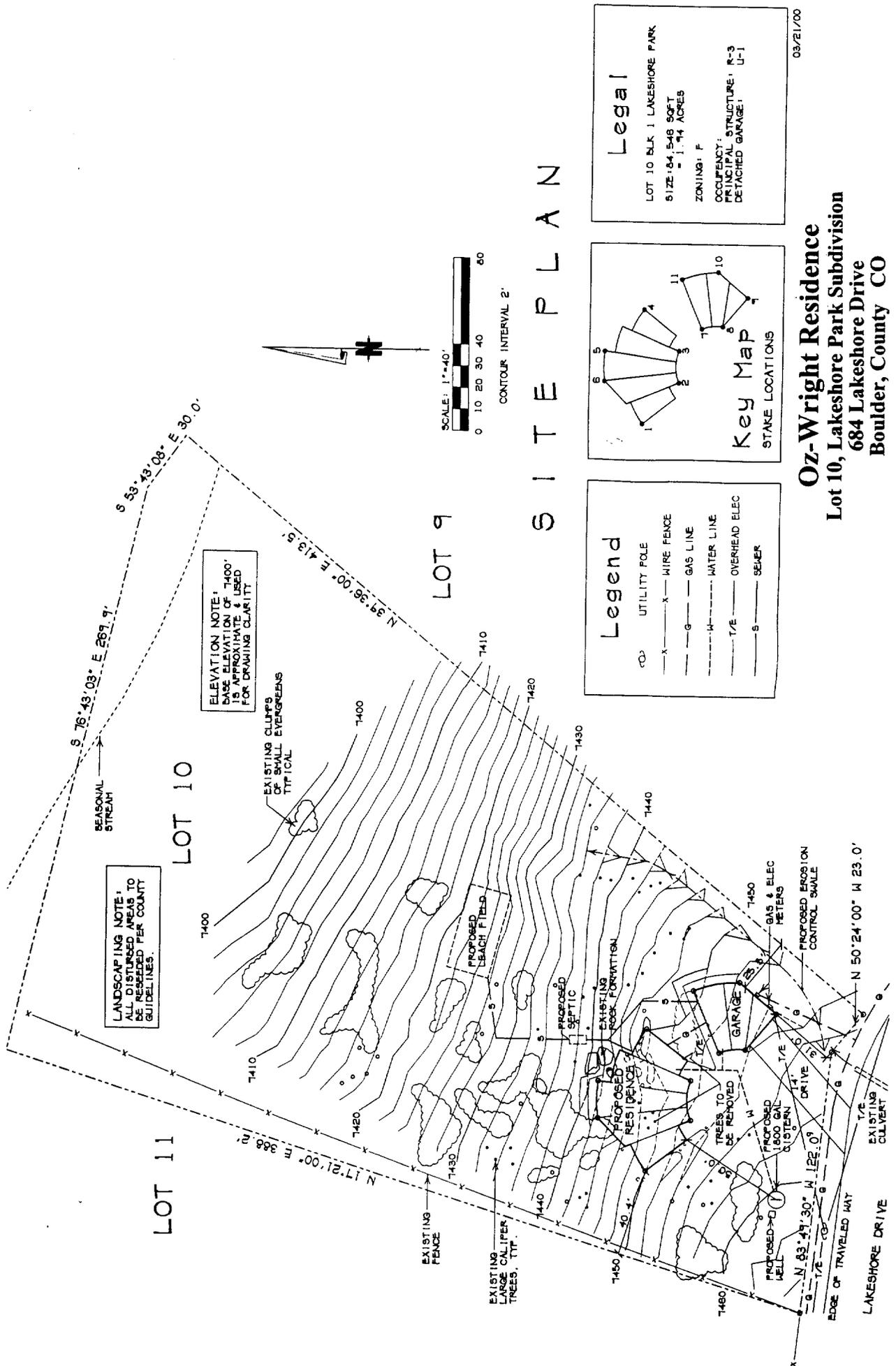
Office Hours:
Monday through Friday
8:00 AM to 4:30 PM

g:/lud/lushared/brochure/spr_fact3.pm6
Printed 9/24/98

Continued on next page...



Oz-Wright Residence
Lot 10, Lakeshore Park Subdivision
684 Lakeshore Drive
Boulder, County CO



S I T E P L A N

Legend

- UTILITY POLE
- X WIRE FENCE
- G GAS LINE
- W WATER LINE
- T/E OVERHEAD ELEC
- S SEWER

Key Map

STAKE LOCATIONS

Legal

LOT 10 BLK 1 LAKESHORE PARK
 SIZE: 84,548 SQFT
 = 1.94 ACRES

ZONING: F
 OCCUPANCY: F
 PRINCIPAL STRUCTURE: R-3
 DETACHED GARAGE: U-1

03/21/00

Oz-Wright Residence
 Lot 10, Lakeshore Park Subdivision
 684 Lakeshore Drive
 Boulder, County CO



Filed for record the _____ day of _____, A.D. 19____, at _____ o'clock _____ M. _____ RECORDER.
Reception No. _____ By _____ DEPUTY.

WARRANTY DEED

THIS DEED, Made on this day of August 06, 1999
between CHARMANE J. LITTLE

DOC FEE \$4.80

of the _____ County of BOULDER and State of Colorado, of the Grantor(s), and
LAURA ELISABETH WRIGHT AND JAMES AUSBERGER

M. *[Signature]*

whose legal address is : 684 LAKESHORE DRIVE, BOULDER, CO 80302
of the _____ County of BOULDER and State of Colorado, of the Grantee(s):

WITNESS, That the Grantor(s), for and in consideration of the sum of (\$48,000.00)
*** Forty Eight Thousand and 00/100 *** DOLLARS

the receipt and sufficiency of which is hereby acknowledged, has granted, bargained, sold and conveyed, and by these presents does grant, bargain, sell, convey and confirm unto the Grantee(s), their heirs and assigns forever, not in tenancy in common but in joint tenancy, all the real property, together with improvements, if any, situate, lying and being in the _____ County of BOULDER and State of Colorado, described as follows:
LOT 10, BLOCK 1, LAKESHORE PARK, COUNTY OF BOULDER, STATE OF COLORADO.

also known as street number 1000 Maxwell Apt. 23 80304
684 LAKESHORE DRIVE, BOULDER, CO 80302

TOGETHER with all and singular and hereditaments and appurtenances thereto belonging, or in anywise appertaining and the reversion and reversions, remainder and remainders, rents, issues and profits thereof; and all the estate, right title interest, claim and demand whatsoever of the Grantor(s), either in law or equity, of, in and to the above bargained premises, with the hereditaments and appurtenances;

TO HAVE AND TO HOLD the said premises above bargained and described with appurtenances, unto the Grantee(s), their heirs and assigns forever. The Grantor(s), for himself, his heirs and personal representatives, does covenant, grant, bargain, and agree to and with the Grantee(s), their heirs and assigns, that at the time of the enrolling and delivery of these presents, he is well seized of the premises above conveyed, has good, sure, perfect, absolute and indefeasible estate of inheritance, in law, in fee simple, and has good right, full power and lawful authority to grant, bargain, sell and convey the same in manner and form as aforesaid, and that the same are free and clear from all former and other grants, bargains, sales, liens, taxes, assessments, encumbrances and restrictions of whatever kind or nature soever, EXCEPT GENERAL TAXES AND ASSESSMENTS FOR THE YEAR 1999 AND SUBSEQUENT YEARS, AND SUBJECT TO EASEMENTS, RESERVATIONS, RESTRICTIONS, COVENANTS AND RIGHTS OF WAY OF RECORD, IF ANY;

The Grantor(s) shall and will WARRANT AND FOREVER DEFEND the above bargained premises in the quiet and peaceable possession of the Grantee(s), his heirs and assigns, against all and every person or persons lawfully claiming the whole or any part thereof. The singular number shall include the plural, and the plural the singular, and the use of any gender shall be applicable to all genders.

IN WITNESS WHEREOF the Grantor(s) has executed this deed on the date set forth above.

JACQUELINE YOUNG
NOTARY PUBLIC
STATE OF COLORADO

My Commission Expires 5/24/2003

Charmane Little
CHARMANE J. LITTLE

STATE OF Colorado,
County of Boulder

The foregoing instrument was acknowledged before me on this day of August 06, 1999
by CHARMANE J. LITTLE

My commission expires
Witness my hand and official seal.

Jacqueline Young
Notary Public

Name and Address of Person Creating Newly Created Legal Description (38-35/106.5, C.R.S.)

Escrow# 1335370
Title# W335370

When Recorded Return to: LAURA ELISABETH WRIGHT AND JAMES AUSBERGER
1000 Maxwell Apt 23
684 LAKESHORE DRIVE
BOULDER, CO 80302 80304

Form NO. 921A Rev 4-94. WARRANTY DEED (To Joint Tenants)



335370



QUITCLAIM DEED

: THIS QUITCLAIM DEED, Executed this 4th day of July, 1999, by first party, Acelia J. Ringleman whose post office address is 414 Allison St., Lakewood, Colorado 80226 to second party, Charmane J. Little whose post office address is 1255 Granby St., Aurora, Colorado 80011

WITNESSETH, That the said first party, for good consideration and for the sum of One Hundred Dollars (\$100.00) paid by the said second party, the receipt whereof is hereby acknowledged, does hereby remise, release and quitclaim unto the said second party forever, all the right, title, interest and claim which the said first party has in and to the following described parcel of land, and improvements and appurtenances thereto in the County of Boulder, State of Colorado to wit: see exhibit "A"
684 Lakeshore Drive, Boulder, Colorado 80302

IN WITNESS WHEREOF, The said first party has signed and sealed these presents the day and year first above written. Signed, sealed and delivered in presence of:

Bernice J. Wilson
Signature of Witness

Acelia J. Ringleman
Signature of First Party

Bernice J. Wilson
Print name of Witness

Acelia J. Ringleman
Print name of First Party

[Signature]
Signature of Witness

Charmane J. Little
Signature of ~~First Party~~ Second Party

Andrew M. Roberts
Print name of Witness

Charmane J. Little
Print name of ~~First~~ Party Second Party

State of Colorado

GE

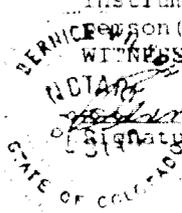


Boulder County Clerk, CO DCD

County of Arapahoe

On July 9, 1999 before me, Bernice J. Wilson, appeared Aceba Ringleman personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal.



Bernice Wilson
Signature of Notary

Affiant Known Produced ID
Type of ID _____ (Seal)

Charmane Little
Signature of Preparer

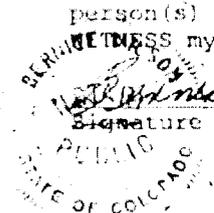
Charmane J. Little
Print Name of Preparer

1255 GRABBY ST
AURORA, Colorado 80011
Address of Preparer

State of Arapahoe, Colo.
County of Arapahoe

On July 4, 1999 before me, Bernice Wilson, appeared Charmane Little personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal.



Bernice Wilson
Signature of Notary

Affiant Known Produced ID
Type of ID _____ (Seal)

EXHIBIT "A"

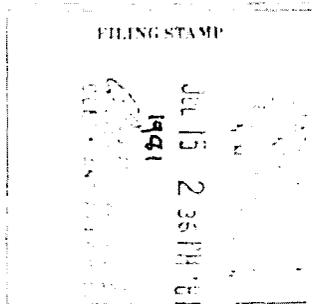


15. 763
Page 3 of 3
07/09/1999 09:29A
0 6 09

Boulder County Clerk, CO 300 R 15 06

The Legal Description of the Boulder County property owned by Charmane J. Little and Acelia J. Ringleman at 684 Lakeshore Drive, Boulder, Colorado 80302 is as follows:

Lot 10, Block 1, Lakeshore Park, Boulder County, Colorado



455225

THIS DEED, Made this 13th day of July 1981 between NORINNE RING of the County of Boulder and State of Colorado, of the first part, and CHARMANE J. LITTLE and ADELIA J. RINGLEMAN, as joint tenants not as tenants in common

whose legal address is 5120 Williams Fork Trail, #107 Boulder, Colorado 80301 of the County of Boulder and State of Colorado, of the second part:

WITNESSETH, That the said party of the first part, for and in consideration of the sum of --FIFTEEN THOUSAND FIVE HUNDRED & NO/100----- DOLLARS, to the said party of the first part in hand paid by the said party of the second part, the receipt whereof is hereby confessed and acknowledged, has granted, bargained, sold and conveyed, and by these presents does grant, bargain, sell, convey and confirm, unto the said party of the second part, his heirs and assigns forever, all the following described lot or parcel of land, situated, lying and being in the County of Boulder and State of Colorado, to wit:

Lot 10, Block 1, LAKESHORE PARK County of Boulder, State of Colorado, the plat of which is recorded in Plat Book 5, at Page 83.

STATE DOCUMENTARY FEE

JUL 15 1981

\$ 1.55

also known as street and number

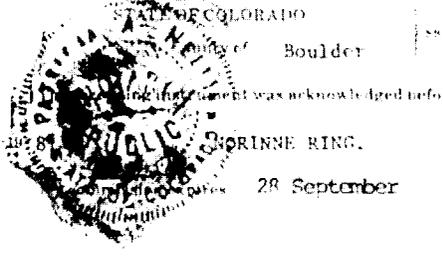
TOGETHER with all and singular the hereditaments and appurtenances thereto belonging, or in anywise appertaining, and the possession and governments, remainder and reversions, rents, issues and profits thereof, and all the estate, right, title, interest, claim and demand whatsoever of the said party of the first part, either in law or equity, of and to the above bargained premises, with the hereditaments and appurtenances.

TO HAVE AND TO HOLD the said premises above bargained and described, with the appurtenances, unto the said party of the second part, his heirs and assigns forever. And the said party of the first part, for himself, his heirs, executors, and administrators, does covenant, grant, bargain, and agree to and with the said party of the second part, his heirs and assigns, that at the time of the ensuing and delivery of these presents, he is well seized of the premises above conveyed, as of good, sure, perfect, absolute and indefeasible estate of inheritance, in law, in fee simple, and has good title, full power and lawful authority to grant, bargain, sell and convey the same in manner and form as aforesaid, and that the same are free and clear from all former and other grants, bargains, sales, liens, taxes, covenants and encumbrances of whatever kind or nature soever, except taxes for the year 1981, due and payable in 1982, which the parties of the second part by the acceptance of this Deed assume and agree to pay and subject to easements, covenants, reservations and rights of way of record;

and the above bargained premises in the quiet and peaceable possession of the said party of the second part, his heirs and assigns against all and every person or persons lawfully claiming or to claim the whole or any part thereof the said party of the first part shall and will WARRANT AND FOREVER DEFEND. The singular number shall include the plural, the plural the singular, and the use of any gender shall be applicable to all genders.

IN WITNESS WHEREOF, the said party of the first part has hereunto set his hand and seal the day and year first above written.

Norinne Ring (SEAL) (SEAL) (SEAL)

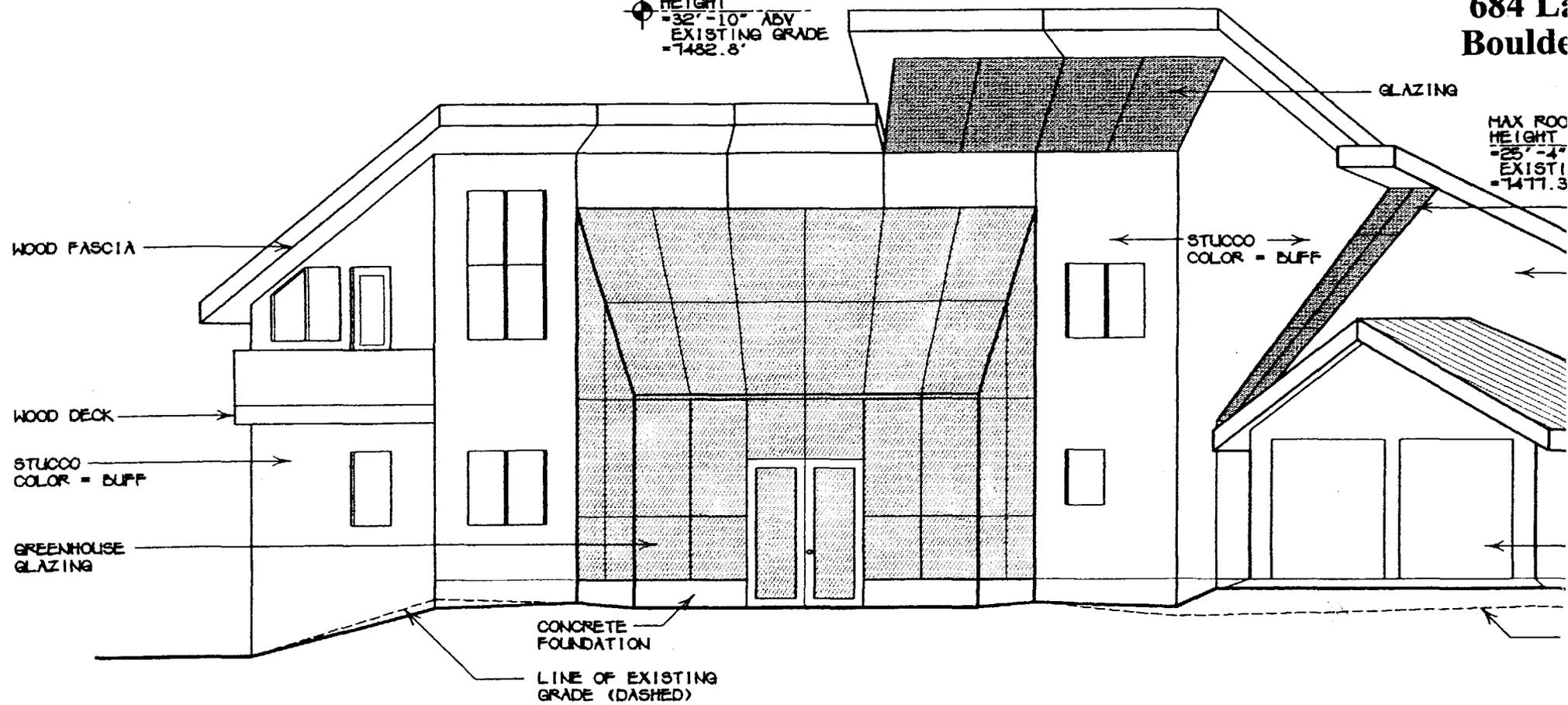


1981 Witness my hand and official seal. Patricia J. Melvin (Notary Public)

Oz-Wri
Lot 10, Lakes
684 La
Boulde

MAX ROOF
HEIGHT
= 32'-10" ADV
EXISTING GRADE
= 7482.8'

MAX ROOF
HEIGHT
= 25'-4"
EXISTING GRADE
= 7477.3'



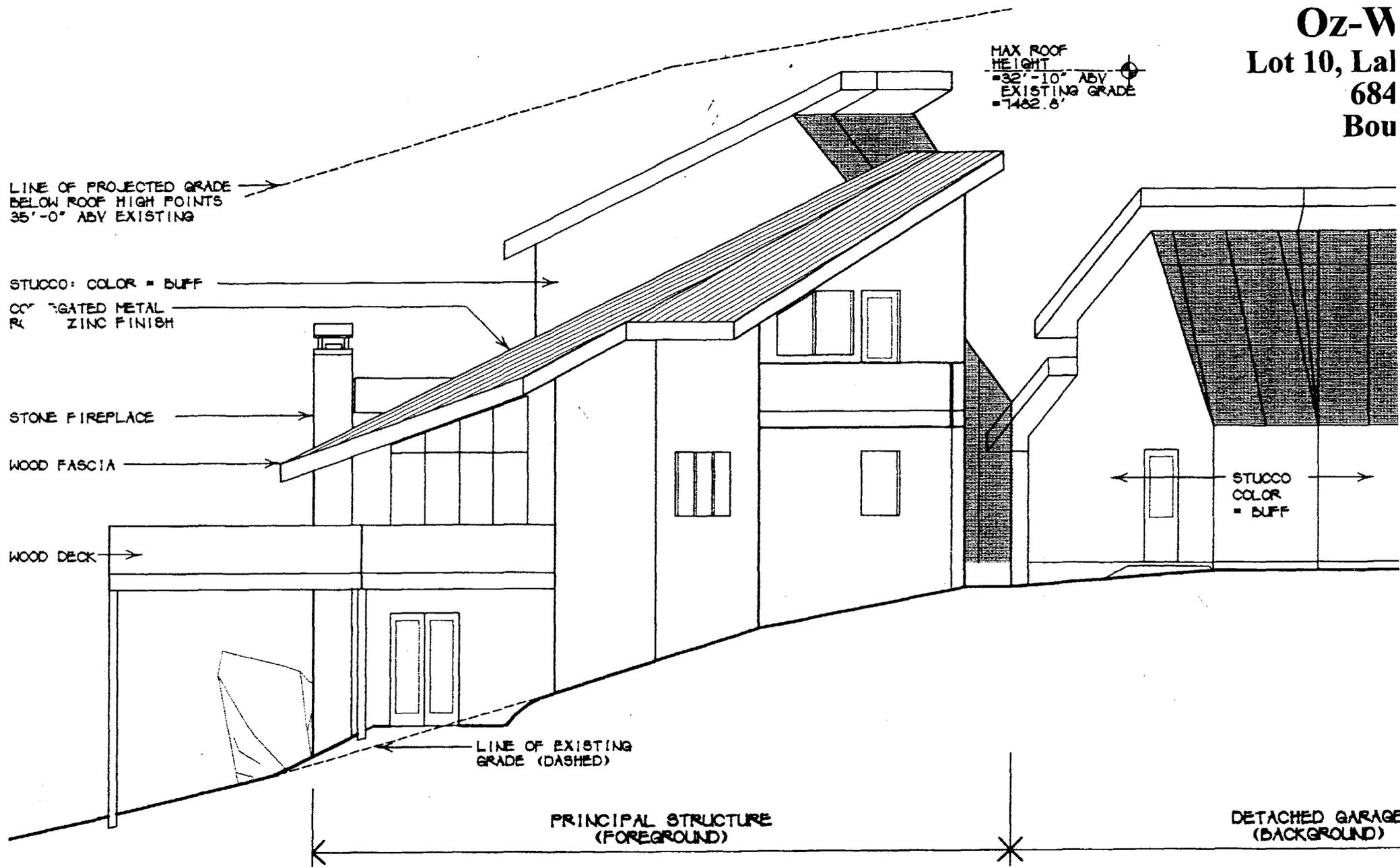
PRINCIPAL STRUCTURE
(FOREGROUND)

DETACHED GARAGE
(BACKGROUND)

SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

Oz-W
Lot 10, Lal
684
Bou

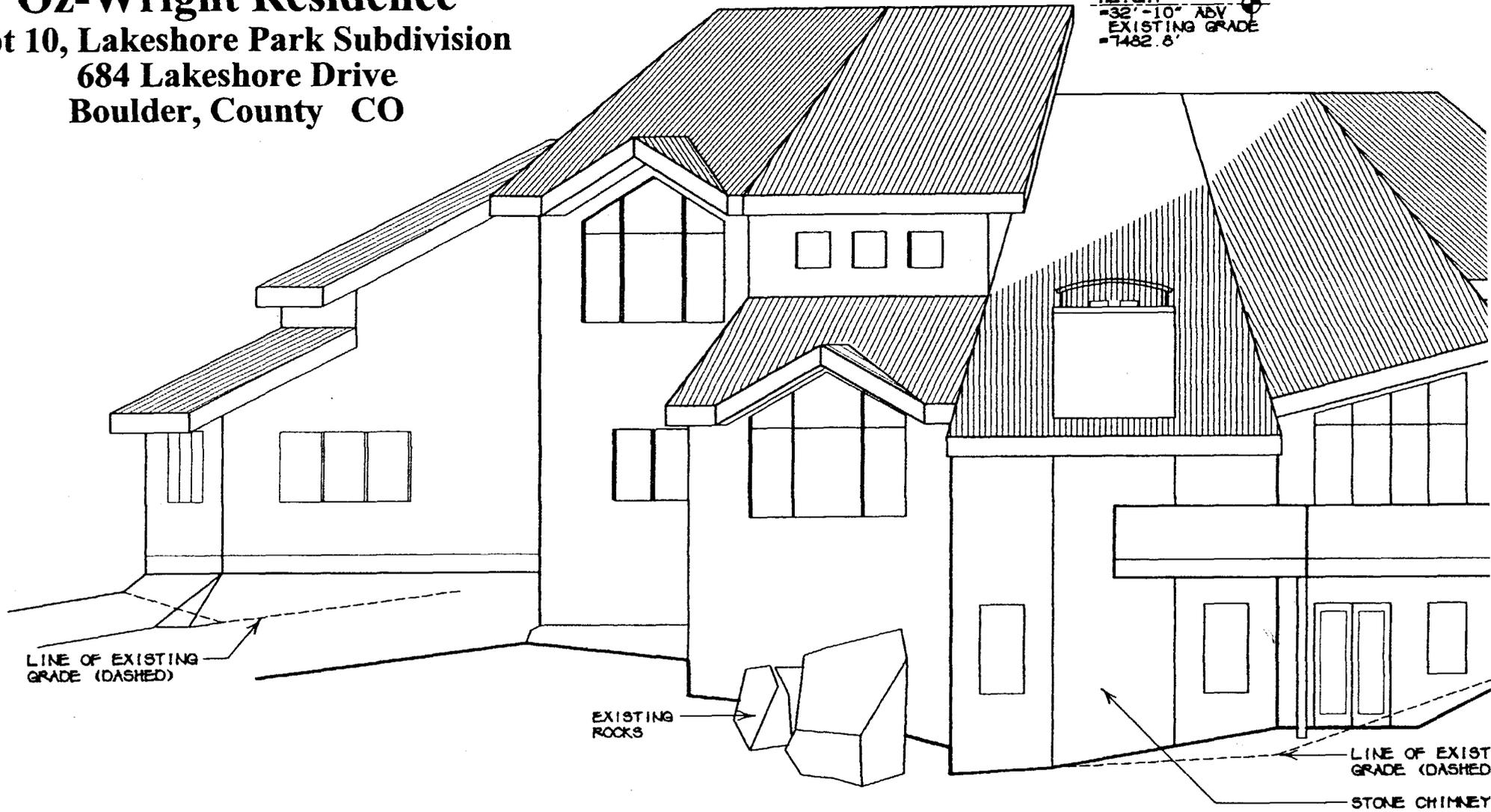


WEST ELEVATION

SCALE: 1/8" = 1'-0"

Oz-Wright Residence
Lot 10, Lakeshore Park Subdivision
684 Lakeshore Drive
Boulder, County CO

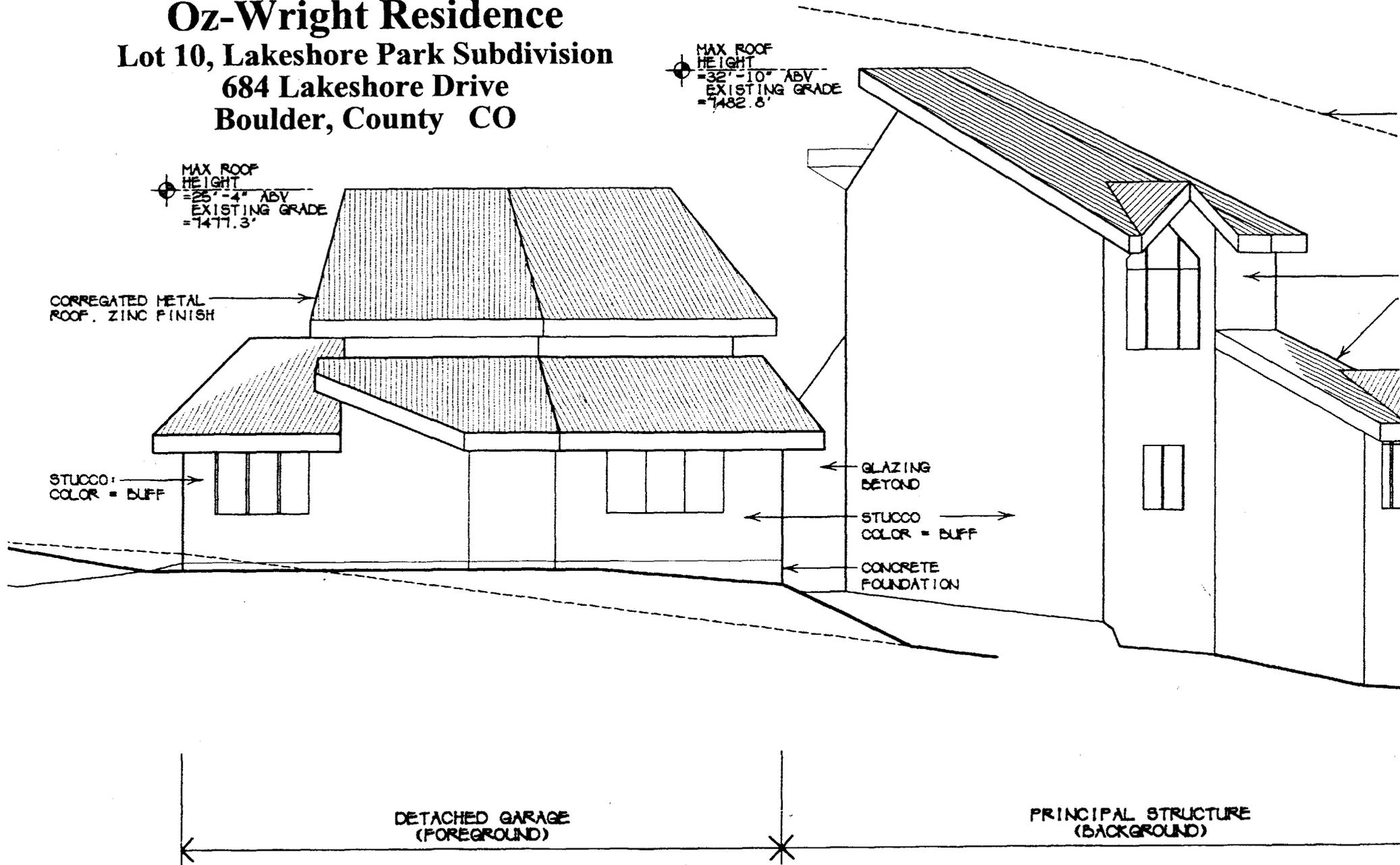
MAX ROOF
HEIGHT
= 32'-10" ABV
EXISTING GRADE
= 7482.8'



N O R T H E L E V A T I O N

SCALE: 1/8" = 1'-0"

Oz-Wright Residence
Lot 10, Lakeshore Park Subdivision
684 Lakeshore Drive
Boulder, County CO



E A S T E L E V A T I O N

SCALE: 1/8" = 1'-0"

ASR ID 0024611 Suffix 01 Parcel No 157917001009 City Cd MT Nbr Id 910

Tax Area Id 0181

Street Address 684 LAKESHORE **

Sub Name LAKE SHORE PARK

Sub Lot 10 Sub Block 1 S-T-R 17-1S-71

Legal Dsc LOT 10 BLK 1 LAKESHORE PARK

Owner Name WRIGHT LAURA ELISABETH &

In Care Of JAMES M AUSBERGER

Owner Address 684 LAKESHORE DR
BOULDER, CO 80302

Land Class Cd 1111

Bldg Class Cd 0000

Design Cd

Built Yr 0

Rooms 0

Bedrooms 0

Half Baths 0

3/4 Baths 0

Full Baths 0

First Fl Fin Sqft 0

First Fl Tot Sqft 0

Above Fin Sqft 0

Above Tot Sqft 0

Bsmnt Fin Sqft 0

Bsmnt Tot Sqft 0

Garage Fin Sqft 0

Garage Tot Sqft 0

Other Fin Sqft 0

Other Tot Sqft 0

Land Act Val \$ 33,300

Bldg Act Val \$

Land Asd Val \$ 9,660

Bldg Asd Val \$

Deed1 No 1969629

Deed1 Dt 09-AUG-99

Deed1 Fee \$ 4.00

Deed2 No 1958763

Deed2 Dt 09-JUL-99

Deed2 Fee \$ 1.55

Deed3 No 455225

Deed3 Dt 15-JUL-81

Deed3 Fee \$ 1.55

Deed4 No 164515

Deed4 Dt 21-JAN-76

Deed4 Fee \$.00

ARCHIBALD PATRICIA L
179 PHEASANT RUN
LOUISVILLE CO 80027

ARCHIBALD SAMUEL J
838 LAKE SHORE DR
BOULDER CO 80302

~~BALASTER AMMONN & KRISTINA
FLAGSTAFF SQUARE
BOULDER CO 80303~~

BLAIR GORDON & JANET
597 LAKESHORE DR
BOULDER CO 80302

CITY & COUNTY OF DENVER
1600 W 12TH AVE
DENVER CO 80204

CODDINGTON JACK C & KATHLEEN G
3 LAKESHORE PARK RD
BOULDER CO 80303

COX JAMES R
300 W CANNON ST
LAFAYETTE CO 80026

CRESS ARLENE M
423 LAKESHORE PARK RD
BOULDER CO 80302

DAKER LYNN W & WANDA E
4250 PONDEROSA CT
BOULDER CO 80301

DELANEY DEBRA JEAN & MICHAEL J
215 LAKESHORE PARK RD
BOULDER CO 80302

DEMPSEY JOHN P
705 LAKESHORE DR
BOULDER CO 80302

EYRES ROBERT JOHN & MARGARET J
2800 KALMIA AVE APT A 202
BOULDER CO 80301

FARDULIS CYNTHIA J
400 LAKESHORE RD
BOULDER CO 80302

FAUROT JON L & LESLIE H
281 LAKESHORE PARK RD
BOULDER CO 80302

FEAUX KARL
555 LAKE SHORE PARK RD
BOULDER CO 80302

FOSTER WINIFRED S
234 LAKESHORE PARK RD FSR
BOULDER CO 80302

FULTON DEBORAH SUE
491 LAKESHORE DR
BOULDER CO 80302

GODWIN JOHN R
2820 TROXELL AVE
LONGMONT CO 80503

GONGLACH MARK STEVEN
& MELANIE
475 LAKESHORE PARK RD
BOULDER CO 80302

GRITZ JAMES & KATHLEEN
72 LAKESHORE PARK RD
BOULDER CO 80302

GRONEN JAMES H
733 LAKESHORE DR
BOULDER CO 80302

HAIP EWALD & ANNA
3842 W TUFTS AVE
DENVER CO 80236

HAYES BRUCE & LELA HAYES
4348 PEBBLE BEACH DR
LONGMONT CO 80503

HELFENBEIN LINDA L
98 LAKESHORE PARK RD
BOULDER CO 80302

HEUMANN JAMES S & BEVERLY A
546 LAKESHORE DR
BOULDER CO 80302

KAILER JAKOB & JULIANNE
14453 E CAROLINA DR
AURORA CO 80012

KEISER BRAD J
800 LAKESHORE PARK RD
BOULDER CO 80302

KIERNAN BRIAN D & JASMIN S
1239 LAKESHORE DR
BOULDER CO 80302

KINDSCHI TERRY M & CARLA J
501 LAKESHORE PARK RD
BOULDER CO 80302

LEIRFALLOM LEIF
1300 W MEDICINE LAKE DR #305
PLYMOUTH MN 55441

LEIRFALLOM MARLENE
390 LAKESHORE PARK RD
BOULDER CO 80302

LOCKHART CHARLES G JR & LEANNE
187 LAKESHORE PARK RD
BOULDER CO 80302

LOGAN THOMAS HENRY JR
25603 MT VERNON RD
GOLDEN CO 80401

LUND FERN
PO BOX 1664
BOULDER CO 80306

MASH GLEN J & CAROL A
624 LAKESHORE DR
BOULDER CO 80302

MAXWELL MARY
8585 FLAGSTAFF
BOULDER CO 80302

MCDERMOTT ANNA
1 LAKESHORE PARK RD
BOULDER CO 80302

MENG HERMAN & MARIA
385 LAKESHORE PARK RD
BOULDER CO 80302

MERRIMAN DANNY C & JANE M
370 LAKESHORE RD
BOULDER CO 80302

MILLER NANCY D
3235 7TH ST
BOULDER CO 80304

MINAMYER TAMALA A
& MARTIN SNO
424 LAKESHORE DR
BOULDER CO 80302

NICHOLSON NANCY L
582 LAKESHORE PARK RD
BOULDER CO 80302

NOYES PATRICIA B & ERIC BADER
1566 COUNTY ROAD 83
BOULDER CO 80302

OWSLEY JOHN Q & CARLA S
771 LAKESHORE DR
BOULDER CO 80302

PENTZ SUZANNE NICOLE & JOHN WY
5505 VALMONT RD LOT 24
BOULDER CO 80301

PFEIFER ROSE
10370 E COLORADO AV
DENVER CO 80231

POTTINGER RICHARD
256 LAKESHORE PARK RD FSR
BOULDER CO 80302

ROBINSON MARGUERITE M
1101 LAKE SHORE DR
BOULDER CO 80302

STRAUSS D PIETER &
275 LAKESHORE DR
BOULDER CO 80302

TREMBLAY JOSEPH W & MONICA J
580 LAKESHORE DR
BOULDER CO 80302

TREMBLAY JOSEPH W & MONICA J
580 LAKESHORE DR
BOULDER CO 80302

US FOREST SERVICE
2995 Baseline Rd Room 16
Boulder CO 80303

WEIGEL WILLIAM
7245 BARK LN 15
SAN JOSE CA 95129

WIN U KYAW & GANDASARI A
8560 FLAGSTAFF RD
BOULDER CO 80302

WINWOOD TINA MARIE & JEFFREY A
7995 ANCHOR DR
LONGMONT CO 80504

WOLFF ROBERT F
13572 RAND DR
SHERMAN OAKS CA 91423

***WRIGHT LAURA ELISABETH
& JAMES MAUSBERGER
1000 MAXWELL AVE APT 23
BOULDER CO 80304***

Chris White
Wildfire Mit Coordinator

LU MAILBOX

Joanne Dalton
County Health Dept

Inter Office Mail

Don Wojcik
County POS Dept

Inter Office Mail

Gil Pomeroy
County Transportation

LU Mailbox

Cherryvale FPD
c/o Mike Tombolato
7700 Baseline Road
Boulder CO 80303

ARCHITECT

James Anberger, LEED-AP
 684 Lakeshore Dr.
 Boulder, Colorado 80302
 1.303.441.8545
 jaanberger@hotmail.com

STRUCT. ENGINEER

Gebau Consulting Engineers
 1121 Broadway, Suite 201
 Boulder, CO 80302
 303-444-8545

PERMIT SUBMITTAL

NOTICE: Duty of Cooperation
 Release of these plans contemplates further cooperation among the Owner, Contractor, and the Architect. Design and construction are complex. Although the Architect and his Consultants have performed their services with due care and diligence, they cannot guarantee perfection. Communication is imperfect and every contingency cannot be anticipated. Any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to the Architect. Failure to notify the Architect compounds misunderstanding and increases construction costs. A failure to cooperate by simple notice to the Architect shall relieve the Architect from responsibility for all consequences. Changes made from the plans without the consent of the Architect are unauthorized and shall relieve the Architect of all consequences arising out of such changes.

COPYRIGHT 2015
 James M. Anberger, Architect
 Do not reproduce these drawings and specifications without the expressed written permission of the Architect. The drawings and specifications are instruments of service and shall remain the property of the Architect whether the project for which they are made is executed or not. These drawings and specifications shall not be used for additions to this project by others except by the expressed written permission of the Architect.

SINGLE FAMILY

Oz Residence Dr.
684 Lakeshore Dr.
Boulder, CO 80302

DATE ISSUED FOR:

06/16/15

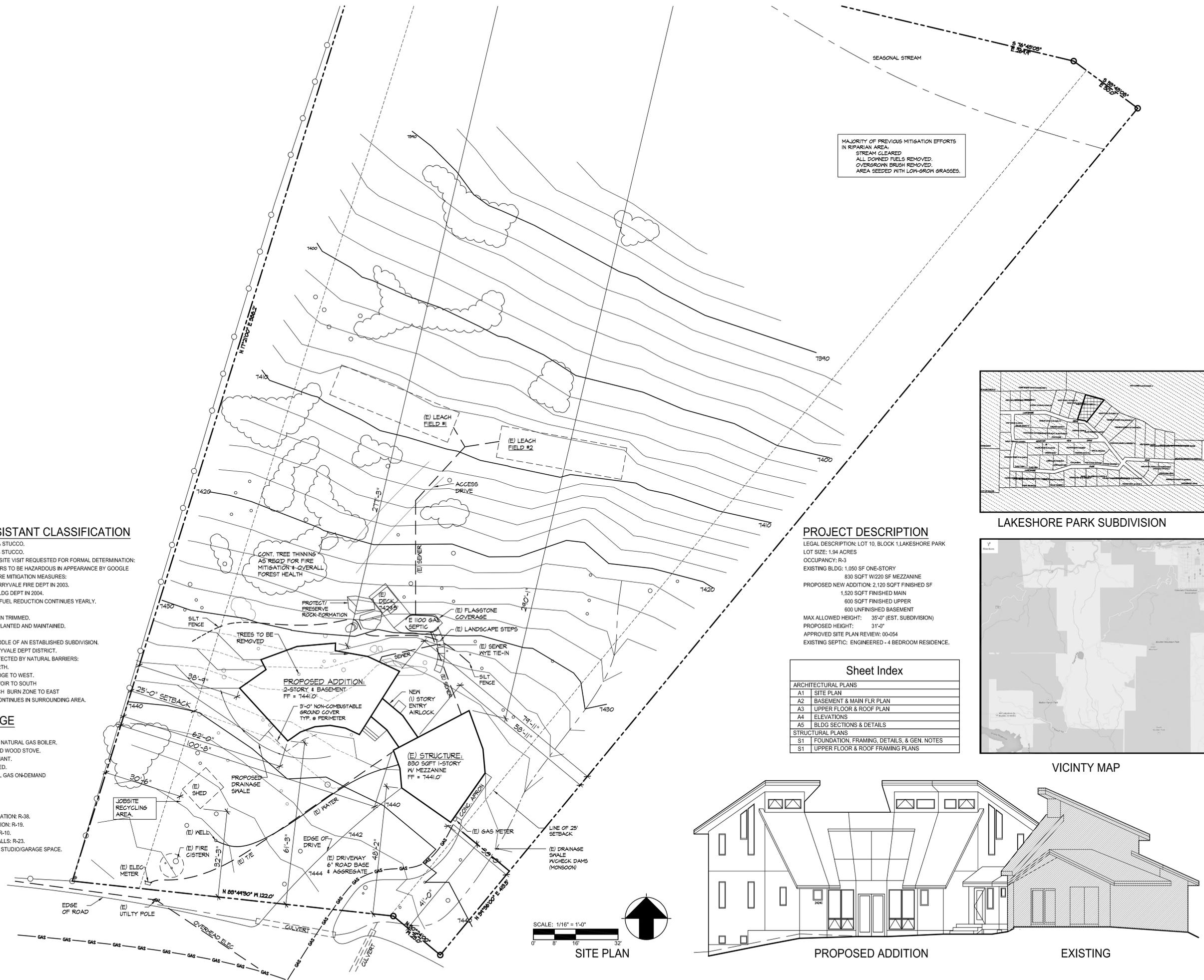
DATE: 06-12-15

DRAWN BY: Oz

JOB NO:

CHECKED BY: JMA

A1



IGNITION-RESISTANT CLASSIFICATION

EXISTING STRUCTURE: 100% STUCCO.
 PROPOSED ADDITION: 100% STUCCO.
 WILDFIRE CLASSIFICATION: SITE VISIT REQUESTED FOR FORMAL DETERMINATION.
 ALTHOUGH THE SITE APPEARS TO BE HAZARDOUS IN APPEARANCE BY GOOGLE MAPPING, CURRENT WILDFIRE MITIGATION MEASURES:
 COMPLETED BY CHERRYVALE FIRE DEPT IN 2003.
 ACCEPTED BY THE BLDG DEPT IN 2004.
 TREE THINNING AND FUEL REDUCTION CONTINUES YEARLY.
 PARCEL STATUS:
 ALL TREES HAVE BEEN TRIMMED.
 LOW GRASSES ARE PLANTED AND MAINTAINED.
 TREES THINNED.
 PARCEL IS IN THE MIDDLE OF AN ESTABLISHED SUBDIVISION.
 PARCEL IS IN CHERRYVALE DEPT DISTRICT.
 SUBDIVISION IS PROTECTED BY NATURAL BARRIERS:
 RIDGE TO NORTH.
 MITIGATED RIDGE TO WEST.
 GROSS RESERVOIR TO SOUTH
 WALKER RANCH BURN ZONE TO EAST
 MITIGATION CONTINUES IN SURROUNDING AREA.

ENERGY USAGE

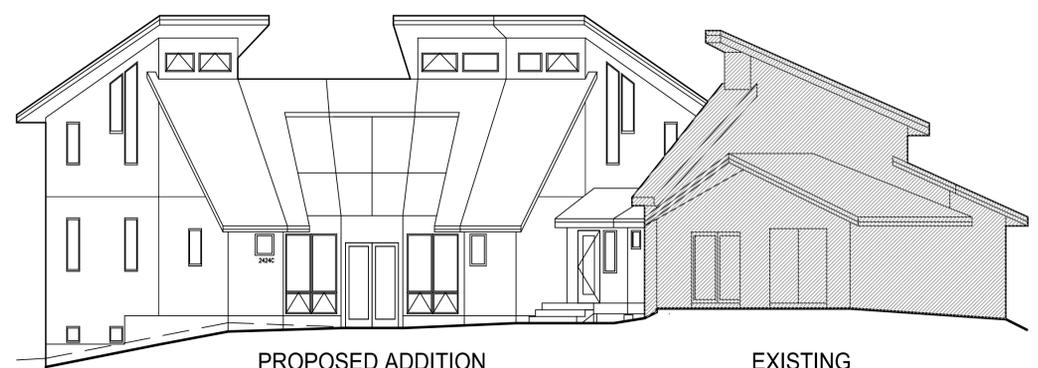
HERS RATED
 PRIMARY HEATING SYSTEM: NATURAL GAS BOILER.
 SECONDARY: EPA APPROVED WOOD STOVE.
 DISTRIBUTION: IN-SLAB RADIANT.
 AIR CONDITIONING: NOT USED.
 DOMESTIC WATER: NATURAL GAS ON-DEMAND
 DRYER: NATURAL GAS.
 RANGE: NATURAL GAS.
 LIGHTING: 50% LED/CFL.
 PROPOSED SPACE:
 CEILING INSULATION: R-38.
 WALL INSULATION: R-19.
 UNDER SLAB: R-10.
 BASEMENT WALLS: R-23.
 EXISTING: UNCONDITIONED STUDIO/GARAGE SPACE.

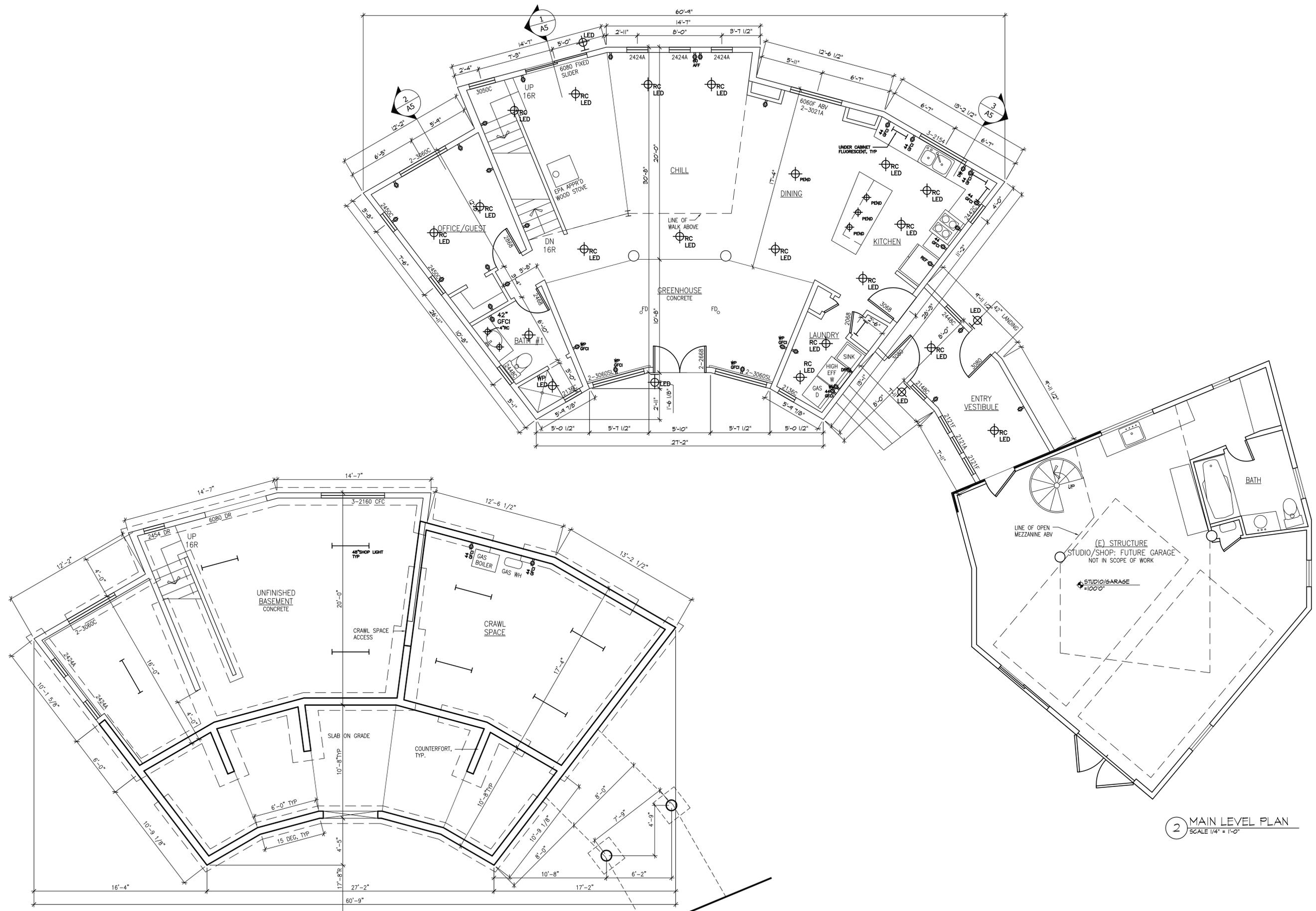
PROJECT DESCRIPTION

LEGAL DESCRIPTION: LOT 10, BLOCK 1, LAKESHORE PARK
 LOT SIZE: 1.94 ACRES
 OCCUPANCY: R-3
 EXISTING BLDG: 1,050 SF ONE-STORY
 830 SOFT W/220 SF MEZZANINE
 PROPOSED NEW ADDITION: 2,120 SOFT FINISHED SF
 1,520 SOFT FINISHED MAIN
 600 SOFT FINISHED UPPER
 600 UNFINISHED BASEMENT
 MAX ALLOWED HEIGHT: 35'-0" (EST. SUBDIVISION)
 PROPOSED HEIGHT: 31'-0"
 APPROVED SITE PLAN REVIEW: 00-054
 EXISTING SEPTIC: ENGINEERED - 4 BEDROOM RESIDENCE.

Sheet Index

ARCHITECTURAL PLANS	
A1	SITE PLAN
A2	BASEMENT & MAIN FLR PLAN
A3	UPPER FLOOR & ROOF PLAN
A4	ELEVATIONS
A5	BLDG SECTIONS & DETAILS
STRUCTURAL PLANS	
S1	FOUNDATION, FRAMING, DETAILS, & GEN. NOTES
S1	UPPER FLOOR & ROOF FRAMING PLANS





1 BASEMENT PLAN
SCALE 1/4" = 1'-0"

2 MAIN LEVEL PLAN
SCALE 1/4" = 1'-0"

(E) STRUCTURE:
NOT IN SCOPE OF WORK.

ARCHITECT
James Anberger, LEED-AP
684 Lakeshore Dr.
Boulder, Colorado 80302
730.433.9886
janberger@hotmail.com

STRUCT. ENGINEER
Gehan Consulting Engineers
1121 Broadway, Suite 201
Boulder, CO 80302
303-444-8545

PERMIT SUBMITTAL

NOTICE: Duty of Cooperation
Release of these plans contemplates further cooperation among the Owner, Contractor, and the Architect. Design and construction are complete. Although the Architect and his Consultants have performed their services with care and diligence, they cannot guarantee perfection. Communication is imperfect and every contingency cannot be anticipated. Any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to the Architect. Failure to notify the Architect compounds misunderstanding and increases construction costs. A failure to cooperate by simple notice to the Architect shall relieve the Architect from responsibility for all consequences. Changes made from the plans without the consent of the Architect are unauthorized and shall relieve the Architect of all consequences arising out of such changes.

COPYRIGHT 2015
James M. Anberger, Architect
Do not reproduce these drawings and specifications without the expressed written permission of the Architect. The drawings and specifications are instruments of service and shall remain the property of the Architect whether the project for which they are made is executed or not. These drawings and specifications shall not be used for additions to this project by others except by the expressed written permission of the Architect.

SINGLE FAMILY

**Oz Residence
684 Lakeshore Dr.
Boulder, CO 80302**

DATE ISSUED FOR:
06/16/15

DATE: 06-12-15
DRAWN BY: Oz
JOB NO:
CHECKED BY: JMA

A2

GENERAL STRUCTURAL NOTES:

684 LAKESHORE DR.
JOB #:

DESIGN LIVE LOADS:
SNOW: 50 PSF
WIND: 31 PSF (IBC DESIGN CRITERIA)
FLOOR: 40 PSF

FOUNDATIONS:
FOUNDATIONS DESIGNED WITHOUT SOILS ENGINEERS SOIL INVESTIGATION.

FOUNDATION CRITERIA (BELOW) WAS ASSUMED FOR PURPOSES OF FOUNDATION DESIGN AND SHALL BE CONFIRMED BY SOILS ENGINEER AT OWNERS EXPENSE PRIOR TO CONSTRUCTION. (THIS PROCEDURE MAY REQUIRE REVISIONS TO FOUNDATION DESIGN IF SOILS ENGINEER DETERMINES THAT SUCH DESIGN CRITERIA ARE INAPPROPRIATE FOR THIS BUILDING SITE.)

FOOTINGS SHALL BE PLACED UPON UNDISTURBED NATURAL SOIL OR COMPACTED FILL TESTED AND APPROVED BY SOILS ENGINEER.

MAXIMUM DESIGN SOILS PRESSURE: 2000 PSI.

FLOAT ALL PARTITIONS AND TRIM MATERIAL A MINIMUM OF 1/2" FROM SLAB ON GRADE.

BASEMENT WALLS:
DESIGN LATERAL SOIL PRESSURE (EQUIVALENT FLUID PRESSURE): 40 PSF/FT.

PROVIDE PERIMETER DRAIN PER ARCHITECT.

SLOPE PERIMETER GRADE AWAY FROM BUILDING.

CONCRETE AND REINFORCEMENT:

CONCRETE SHALL CONFORM TO APPLICABLE PROVISIONS OF LATEST REVISION OF ACI-301. MIN. COMPRESSIVE STRENGTH AS FOLLOWS:
CONCRETE 4,000 PSI

DEFORMED REINFORCEMENT: ASTM A615 GRADE 60.

WELDED WIRE FABRIC: ASTM 185.

REINFORCEMENT FABRICATED AND PLACED PER ACI MANUAL OF STANDARD PRACTICE (ACI-315).

TYPICAL FOUNDATION REINFORCEMENT: 2-#4 TOP AND 2-#4 BOTTOM.

SEE PLAN FOR OTHER REQUIREMENTS.

CONCRETE MUST BE PLACED CONTINUOUSLY WITHOUT HORIZONTAL COLD JOINT. IF COLD JOINT IS REQUIRED, APPROPRIATE VERTICAL REINFORCEMENT MUST BE PROVIDED.

COLD WEATHER PLACEMENT SHALL CONFORM TO PRACTICE SET FORTH IN ACI MANUAL OF CONCRETE PRACTICE.

STRUCTURAL STEEL:

STRUCTURAL STEEL: ASTM A36.

STANDARD PIPE COLUMNS: ASTM A53 GRADE B.

ALL STRUCTURAL STEEL FABRICATED AND ERECTED PER AISC STEEL CONSTRUCTION MANUAL.

WOOD FRAMING:
GLU-LAMBS: 24F-V4 DF/ARCHITECTURAL GRADE, 0" CAMBER.

LAMINATED VENEER LUMBER (LVL) Fb=2600, E=1,900,000

FRAMING LUMBER (MAXIMUM MOISTURE CONTENT: 19%):

STUDS DOUGLAS FIR OR STD. 4 BETTER
Fb=115/825, E=1,400,000
JOISTS DOUGLAS FIR #2
Fb=910/1100, E=1,600,000
BEAMS DOUGLAS FIR #1
Fb=1350, E=1,600,000
COLUMNS DOUGLAS FIR #1
Fb=1200, E=1,600,000

NAILING PER IBC/IRC EXCEPT WHERE MORE OR LARGER ARE SHOWN ON DRAWINGS.

ALL ROOF RAFTERS, JOISTS, TRUSSES, BEAMS ANCHORED TO SUPPORTS WITH 18GA FRAMING ANCHORS. TRUSS TO TRUSS CONNECTIONS SPECIFIED BY TRUSS SUPPLIER.

ALL PLYWOOD ROOF SHEATHING AND SUBFLOORING SHALL BE ENGINEERED GRADES WITH GRADE STAMP INDICATING APPROPRIATE MAXIMUM SPACING OF SUPPORTS (APA 92/16).

LOWER CHORD OF GABLE END TRUSSES, ANCHORED TO WALL PLATE WITH 18GA FRAMING ANCHORS AT 4'-0" ON CENTER AND LATERALLY BRACED TO ROOF FRAMING AT 8'-0" ON CENTER MAXIMUM SPACING.

ALL EXTERIOR STUD WALLS SHALL BE SHEATHED WITH 1/2" PLYWOOD (OR 1/2" AFA RATED OSB). ADDL. REQMENTS NOTED ON DRAWINGS.

DOUBLE JOIST UNDER PARTITIONS WHERE JOIST ARE PARALLEL TO PARTITIONS.

PROVIDE CONTINUOUS WALL STUDS EACH SIDE OF WALL OPENINGS EQUAL TO ONE HALF OR GREATER OF NUMBER OF STUDS INTERRUPTED BY OPENINGS.

ALL WALL STUDS SHALL BE CONTINUOUS FROM FLOOR TO ROOF OR FROM FLOOR TO FLOOR.

CROSS BRIDGE ALL ROOF AND FLOOR JOISTS AT MID-SPAN WHERE BOTTOM DOES NOT RECEIVE DRYWALL OR OTHER SHEATHING.

PROVIDE SOLID BLOCKING OR RIM JOISTS SUPPORTS AND JOIST ENDS. ALL FLOOR JOIST AND ROOF TRUSS SYSTEM BRACING AND BRIDGING AND CONNECTIONS SPECIFIED BY MANUFACTURER.

METAL CONNECTOR DESIGNATIONS ARE SIMPSON STRONG TIE COMPANY.

THESE PLANS HAVE BEEN ENGINEERED FOR CONSTRUCTION AT ONE SPECIFIED BUILDING SITE. BUILDER ASSUMES ALL RESPONSIBILITY FOR USE OF THE PLANS AT ANY OTHER BUILDING SITE.

MASONRY AND REINFORCEMENT:

CONCRETE MASONRY UNITS SHALL CONFORM TO ASTM C90-N1 FM2 1500 PSI.

MORTAR SHALL CONFORM TO ASTM C270, TYPE S.

GROUT SHALL CONFORM TO ASTM 416, 2500 PSI, 28 DAY STRENGTH.

MASONRY WALLS, PIERS, ETC SHALL BE GROUTED IN LIFTS NOT EXCEEDING 6'-0".

CLEAN CELLS AND ROD GROUT INTO PLACE. PROVIDE CLEANOUTS AT BASE OF WALL.

TO MINIMIZE LEACHING, PROTECT ALL MASONRY WORK FROM MOISTURE INTRUSION DURING CONSTRUCTION.

GROUT REINFORCED CELLS, BOND BEAMS AND ALL CELLS BELOW GRADE.

MASONRY REINFORCEMENT: ASTM A615 GRADE 60.

ALL MASONRY WALLS TO BE HORIZONTALLY REINFORCED WITH STANDARD DUR-O-WALL AT 16" O.C.

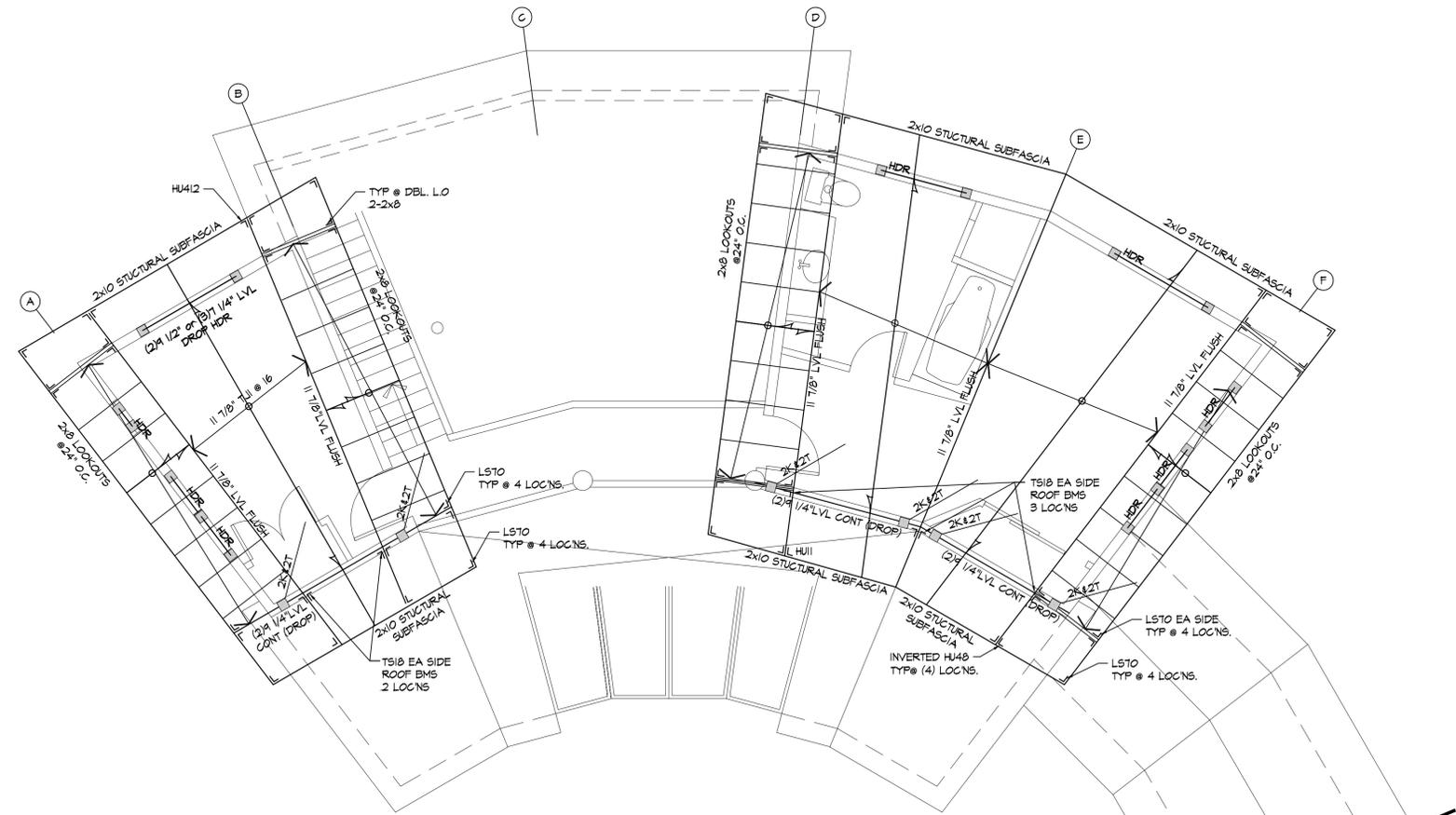
TYPICAL MASONRY VERTICAL REINFORCEMENT: #4 @ 32" O.C., UNLESS OTHERWISE NOTED OR DETAILED ON DRAWINGS. MINIMUM LAP: 24".

TYPICAL BOND BEAM REINFORCEMENT: 2-#4 CONTINUOUS GROUT SOLID.

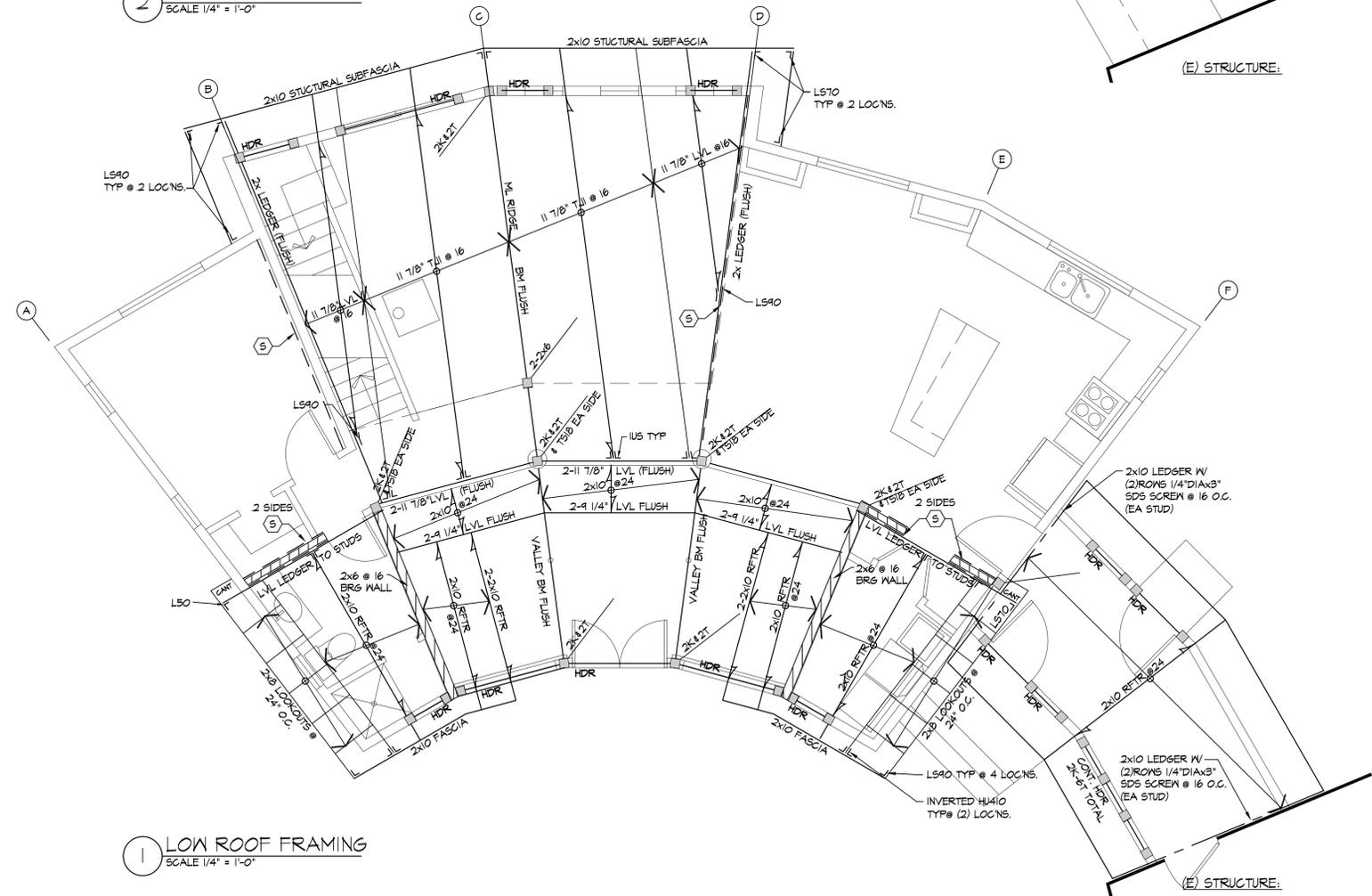
REINFORCEMENT FABRICATED AND PLACE PER ACI MANUAL OF STANDARD PRACTICE, ACI-315.

COLD WEATHER PLACEMENT SHALL CONFORM TO PRACTICE SET FORTH IN GUIDE SPECIFICATIONS FROM INTERNATIONAL MASONRY ALL-WEATHER COUNCIL AVAILABLE THROUGH FCARL1010A9.

AEE CONCRETE SECTION FOR MASONRY REINFORCEMENT NOTES.



2 ROOF FRAMING
SCALE 1/4" = 1'-0"



1 LOW ROOF FRAMING
SCALE 1/4" = 1'-0"

ARCHITECT

James Ausberger, LEED-AP
684 Lakeshore Dr.
Boulder, Colorado 80302
1.303.444.8545
jausberger@hotmail.com

STRUCT. ENGINEER

Gebus Consulting Engineers
1121 Broadway, Suite 201
Boulder, CO 80302
303-444-8545

PERMIT SUBMITTAL

NOTICE: Duty of Cooperation
Release of these plans contemplates further cooperation among the Owner, Contractor, and the Architect. Design and construction are complete. Although the Architect and his Consultants have performed their services without care and diligence, they cannot guarantee perfection. Communication is imperfect and every contingency cannot be anticipated. Any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to the Architect. Failure to notify the Architect compounds misunderstanding and increases construction costs. A failure to cooperate by simple notice to the Architect shall relieve the Architect from responsibility for all consequences. Changes made from the plans without the consent of the Architect are unauthorized and shall relieve the Architect of all consequences arising out of such changes.

COPYRIGHT 2015
James M. Ausberger, Architect
Do not reproduce these drawings and specifications without the expressed written permission of the Architect. The drawings and specifications are instruments of service and shall remain the property of the Architect whether the project for which they are made is executed or not. These drawings and specifications shall not be used for additions to this project by others except by the expressed written permission of the Architect.

SINGLE FAMILY

Oz Residence
684 Lakeshore Dr.
Boulder, CO 80302

DATE ISSUED FOR:

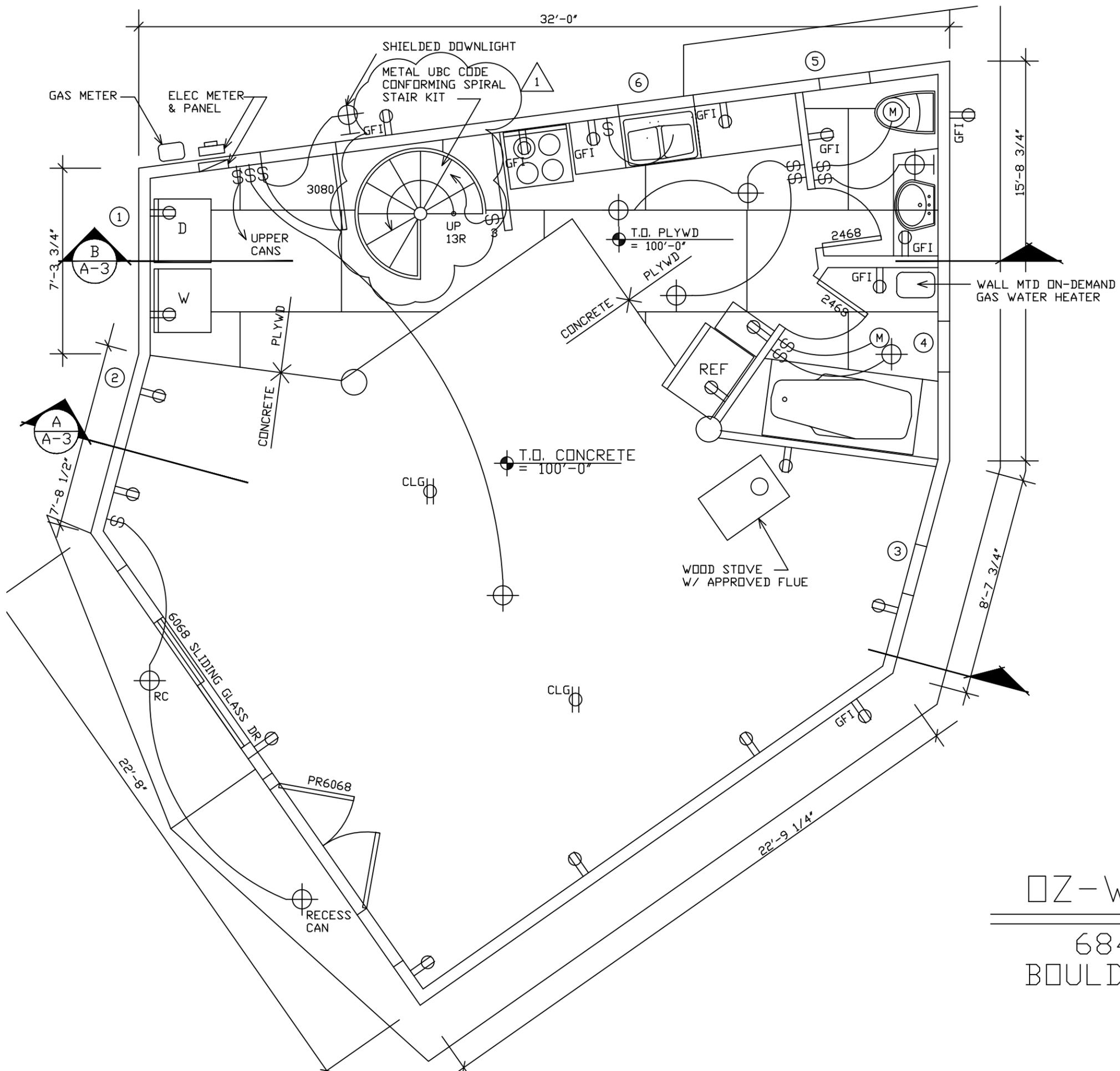
06/16/15

DATE: 06-12-15

DRAWN BY: Oz

JOB NO:

CHECKED BY: JMA



MAIN LEVEL PLAN

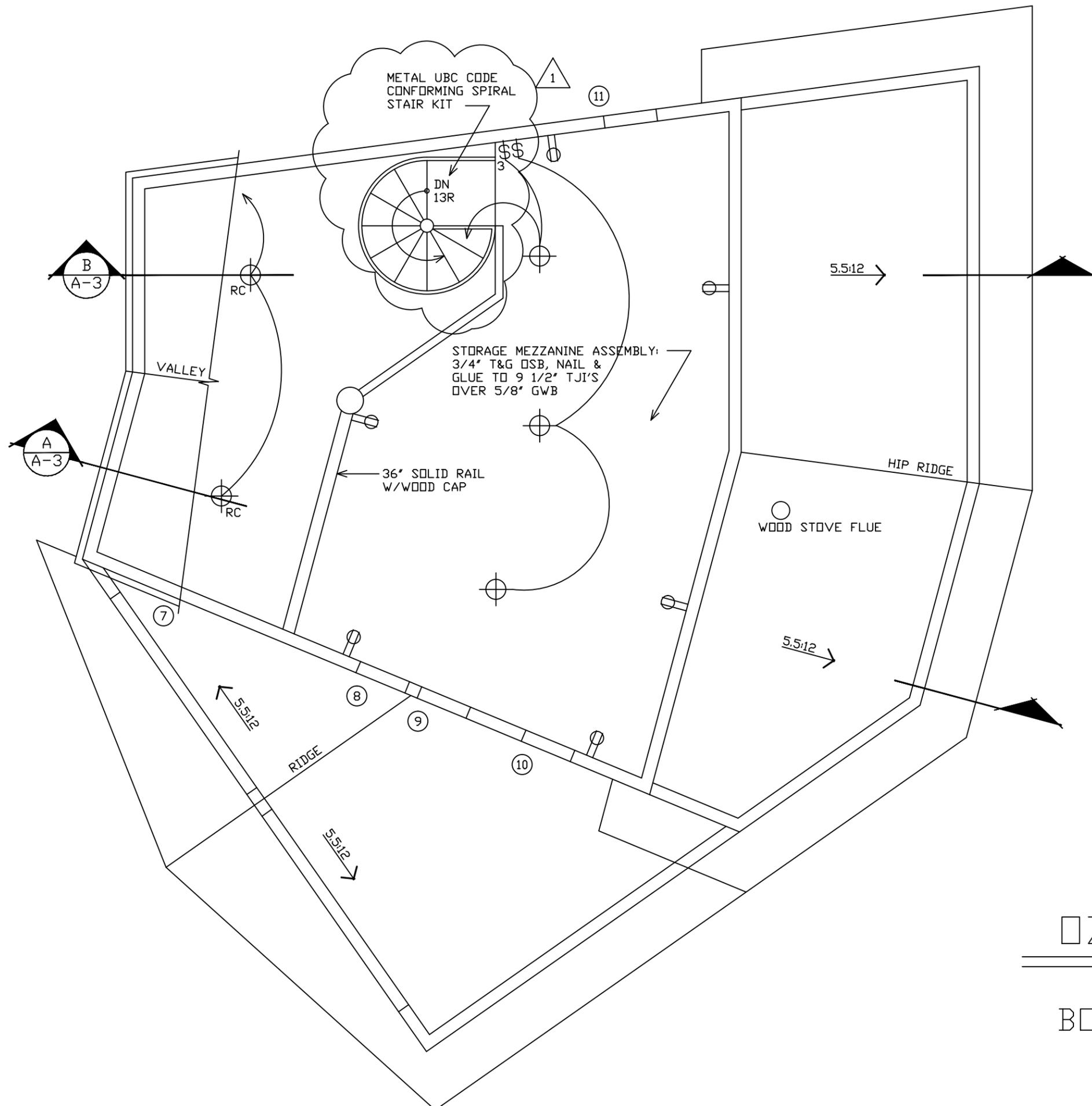
SCALE: 1/4" = 1'-0"
 ALL OUTLETS TO HAVE GFCI

1 ADDENDUM - 08/12/00

REBEL DESIGN INC. ARCHITECTURE
 1002 MAXWELL AVE, SUITE 23
 BOULDER, COLORADO
 PHONE: (303) 545-0299

OZ-WRIGHT RESIDENCE

684 LAKESHORE DRIVE
 BOULDER COUNTY, COLORADO



STORAGE LOFT PLAN

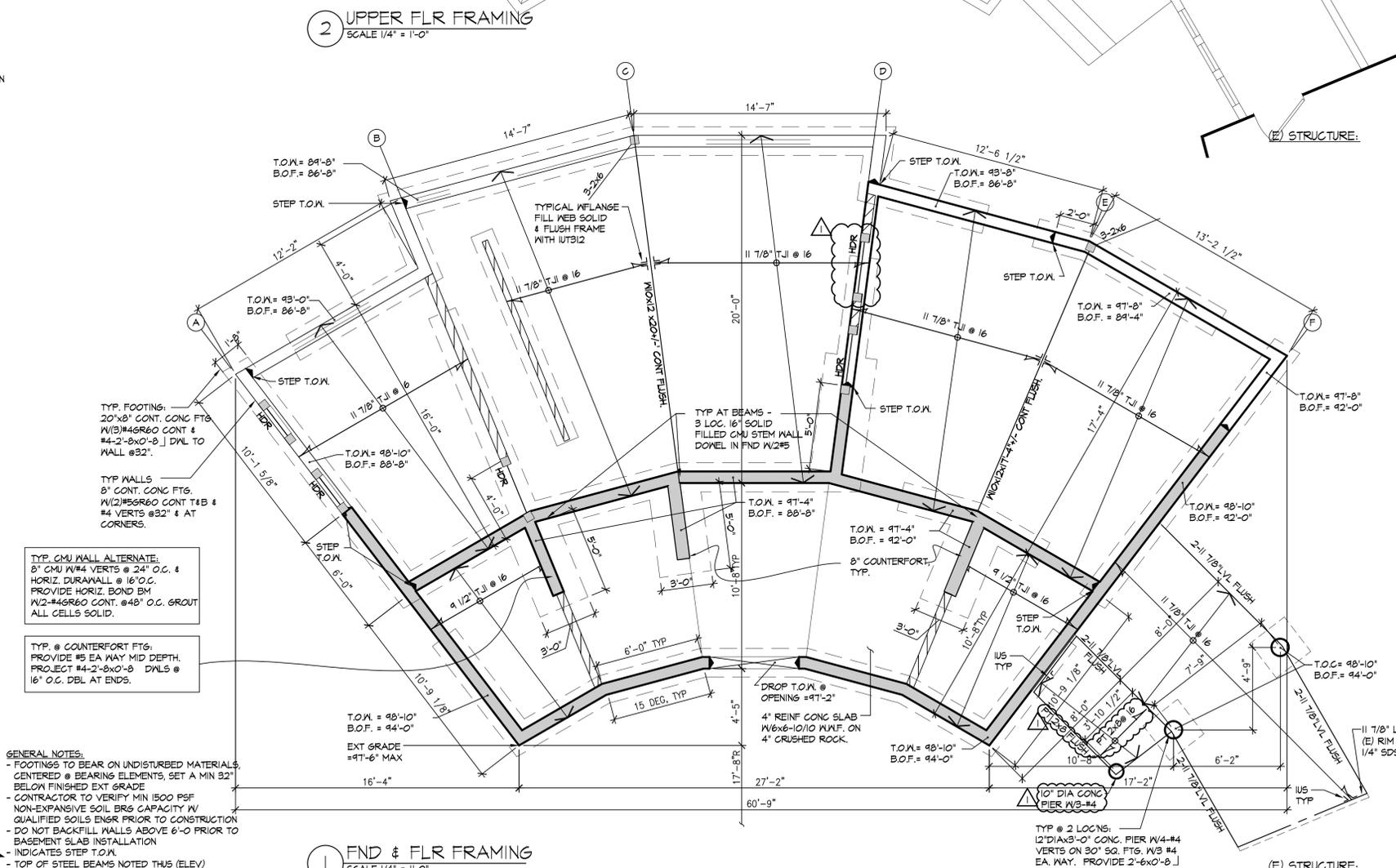
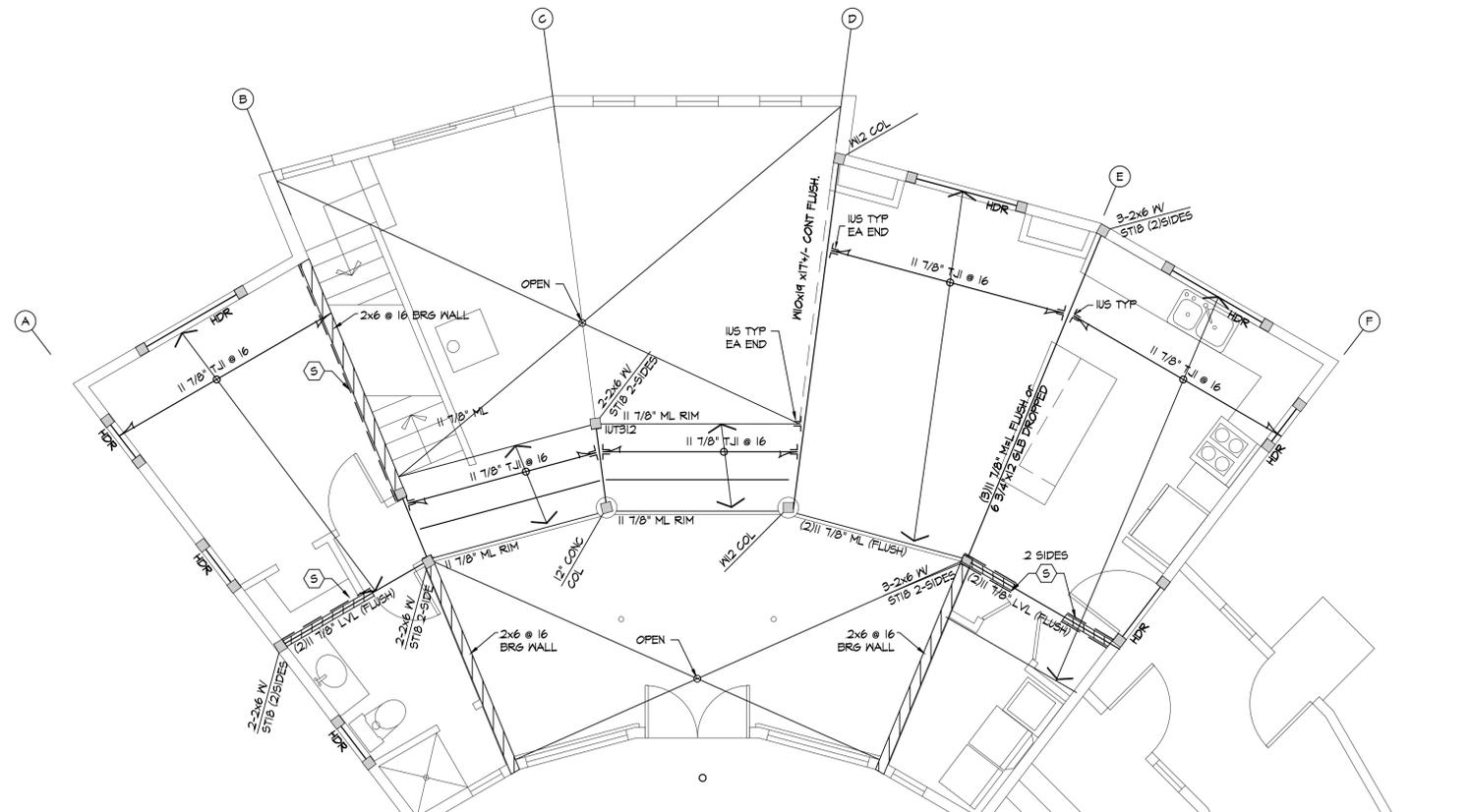
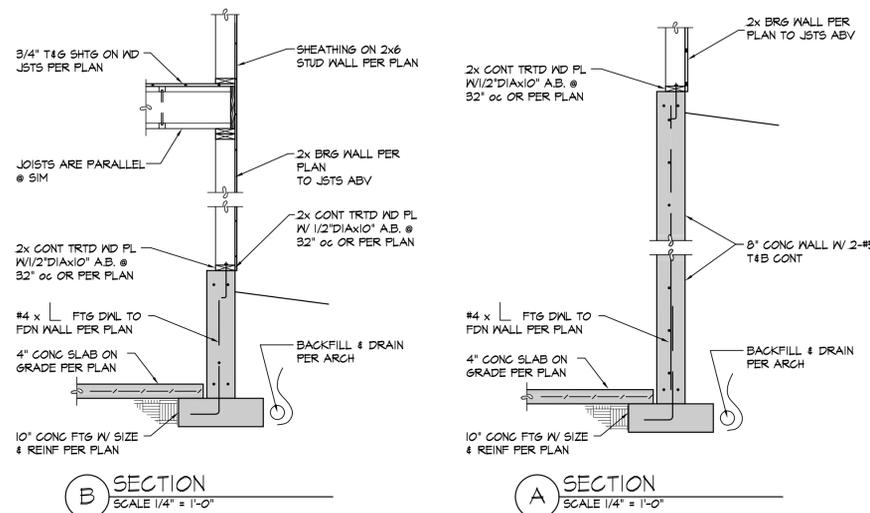
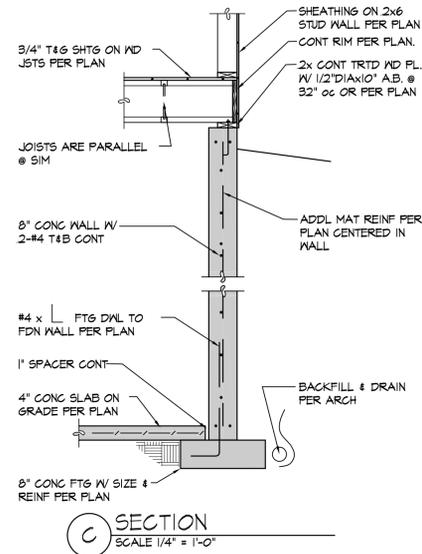
SCALE: 1/4" = 1'-0"
 ALL OUTLETS TO HAVE GFCI

1 ADDENDUM - 08/12/00

REBEL DESIGN INC.
 ARCHITECTURE
 1002 MAXWELL AVE, SUITE 23
 BOULDER, COLORADO
 PHONE: (303) 545-0299

OZ-WRIGHT RESIDENCE

684 LAKESHORE DRIVE
 BOULDER COUNTY, COLORADO



DESIGNER
James Ausberger, LEED-AP
684 Lakeshore Dr.
Boulder, Colorado 80302
1.303.441.8545
jausberger@hotmail.com

STRUCT. ENGINEER
Gehan Consulting Engineers
1121 Broadway, Suite 201
Boulder, CO 80302
303-444-8545

PERMIT SUBMITTAL

COPYRIGHT © 2015
James M. Ausberger
Do not reproduce these drawings and specifications without the expressed written permission of James M. Ausberger. The drawings and specifications are instruments of service and shall remain the property of Mr. Ausberger whether the project for which they are made is executed or not. These drawings and specifications shall not be used for additions to this project by others except by the expressed written permission of James Ausberger.

SINGLE FAMILY

Oz Residence
684 Lakeshore Dr.
Boulder, CO 80302

DATE: 06/16/15
ISSUED FOR: 08/05/15 REVISION 1

DATE: 06-12-15
DRAWN BY: Oz
JOB NO:
CHECKED BY: JMA

S1

GENERAL

CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO EXECUTING CORRESPONDING MODIFICATIONS AND SHALL NOTIFY GEBAU, INC IMMEDIATELY UPON DISCOVERY OF CONDITIONS DIFFERING FROM THOSE SHOWN.

THESE PLANS HAVE BEEN ENGINEERED FOR CONSTRUCTION AT ONE SPECIFIC BUILDING SITE. BUILDER ASSUMES ALL RESPONSIBILITY FOR USE OF THESE PLANS AT ANY OTHER BUILDING SITE.

MASONRY / REINFORCEMENT

CONCRETE MASONRY UNITS SHALL CONFORM TO ASTM C90-N (1" & 800)

CLAY OR SHALE BRICK MASONRY UNITS SHALL CONFORM TO ASTM C216-14/FB8

MORTAR SHALL CONFORM TO ASTM C270 TYPE S

GROUT SHALL CONFORM TO ASTM F75 2500 PSI 28 DAY STRENGTH

MASONRY WALLS, PIERS, ETC SHALL BE GROUTED IN LIFTS NOT EXCEEDING 8'-0"

CLEAN CELLS AND ROD GROUT INTO PLACE. PROVIDE CLEANOUTS AT BASE OF WALL.

TO MINIMIZE LEACHING, PROTECT ALL MASONRY WORK FROM MOISTURE INTRUSION DURING CONSTRUCTION.

GROUT REINFORCED CELLS, BOND BEAMS AND ALL CELLS BELOW GRADE

MASONRY REINFORCEMENT: ASTM A65 GRADE 60

ALL MASONRY WALLS TO BE HORIZONTALLY REINFORCED WITH STANDARD DUR-O-WALL AT 8' OC

TYPICAL MINIMUM MASONRY VERTICAL REINFORCEMENT: #4 AT 32" OC UNLESS OTHERWISE NOTED OR DETAILED ON DRAWINGS PER ACI 318

PROVIDE 15 AT SIDES OF ALL OPENINGS, CORNERS, CONTROL JOINTS AND WALL ENDS.

TYPICAL BOND BEAM REINFORCEMENT: 2#4 CONTINUOUS GROUT SOLID.

REINFORCEMENT FABRICATED AND PLACED PER ACI MANUAL OF STANDARD PRACTICE (ACI-318).

COLD WEATHER PLACEMENT SHALL CONFORM TO PRACTICE SET FORTH IN GUIDE SPECIFICATIONS FROM INTERNATIONAL MASONRY ALL WEATHER COUNCIL AVAILABLE THROUGH PCA. (107)28

SEE CONCRETE SECTION FOR MASONRY REINFORCEMENT NOTES.

REPOINTING OF CLAY MASONRY JOINTS - REPOINTING OF JOINTS SHALL CONFORM TO USC STANDARD 748 - THE OLD OR DETERIORATED JOINT SHALL BE CUT OUT TO MINIMUM DEPTH OF TWO TIMES THE JOINT HEIGHT (MIN. 1/2" TO MAX. 1") UNTIL SOUND MORTAR IS REACHED AND ALL LOOSE MATERIAL REMOVED. PACK JOINTS WITH NEW MORTAR OF SIMILAR PHYSICAL STRENGTH, COLOR AND TEXTURE PROPERTIES IN 1/4" LAYERS UNTIL THE JOINT IS FILLED (A SORT TYPE OF MORTAR WITH HIGH LIME CONTENT IS RECOMMENDED FOR HISTORIC MASONRY).

REPOINTING OF RUBBLE FOUNDATION JOINTS - REPOINTING OF JOINTS SHALL CONFORM TO USC STANDARD 748 - THE OLD OR DETERIORATED JOINT SHALL BE CUT OUT TO MINIMUM DEPTH OF TWO TIMES THE JOINT HEIGHT (MIN. 2" TO MAX. 3") UNTIL SOUND MORTAR IS REACHED AND ALL LOOSE MATERIAL REMOVED. PACK JOINTS WITH NEW MORTAR OF SIMILAR PHYSICAL STRENGTH AND PROPERTIES IN 1/4" LAYERS UNTIL THE JOINT IS FILLED (A SORT TYPE OF MORTAR WITH HIGH LIME CONTENT IS RECOMMENDED FOR HISTORIC MASONRY).

INFILLING EXISTING MASONRY OPENINGS - INFILL EXISTING OPENINGS AND LOOSE/UNSTABLE MASONRY AT LOCATIONS NOTED PER PLAN WITH NEW MASONRY UNITS TO MATCH EXISTING UNITS. USE A NEW MORTAR OF SIMILAR PHYSICAL STRENGTH, COLOR AND TEXTURE PROPERTIES WITH JOINT HEIGHT AND WIDTH TO MATCH EXISTING. (A SORT TYPE OF MORTAR WITH HIGH LIME CONTENT IS RECOMMENDED FOR HISTORIC MASONRY).

GENERAL STRUCTURAL NOTES

JOB # 002088
PROJECT: 684 LAKESHORE DRIVE

DESIGN LOADS

SNOW 50 PSF
WIND 15 mph ASD / 15 mph EWP C1
SEISMIC CATEGORY B1
FLOOR 40 PSF

INSPECTIONS

THE FOLLOWING ITEMS REQUIRE SPECIAL INSPECTION FROM GEBAU, INC. OR BY AN INSPECTION AGENCY APPROVED BY GEBAU, INC. WITH A 24 HOUR ADVANCED NOTICE:
FOOTINGS, FOUNDATION WALL FORMS, REINFORCING, ANCHOR BOLTS PRIOR TO CONCRETE POUR.

FOUNDATIONS

CMU VERTICAL REINFORCING, BOND BEAM STEEL, AND SPIRED LOCATIONS PRIOR TO GROUTING AT ALL LIFTS.

FOUNDATIONS

FOUNDATION CRITERIA (BELOW) WERE ASSURED FOR PURPOSES OF FOUNDATION DESIGN AND SHALL BE CONFIRMED BY SOILS ENGINEER AT OWNERS EXPENSE PRIOR TO CONSTRUCTION. THIS PROCEDURE THAT REQUIRE RELIANCE TO FOUNDATION DESIGN BY SOIL ENGINEER DETERMINES THAT SUCH DESIGN CRITERIA ARE INAPPROPRIATE FOR THIS BUILDING SITE:

FOOTINGS SHALL BE PLACED UPON UNDISTURBED NATURAL SOIL OR COMPACTED FILL TESTED AND APPROVED BY SOILS ENGINEER.
MAXIMUM DESIGN SOIL PRESSURE: 1500 PSF

CONCRETE AND REINFORCEMENT

CONCRETE SHALL CONFORM TO APPLICABLE PROVISIONS OF LATEST REVISION OF ACI-308 MINIMUM 28 DAY COMPRESSIVE STRENGTH AS FOLLOWS:
ALL CONCRETE: 3000 PSI
DEFORMED REINFORCEMENT: ASTM A65 GRADE 60
WELDED WIRE FABRIC: ASTM A65

REINFORCEMENT FABRICATED AND PLACED PER ACI MANUAL OF STANDARD PRACTICE (ACI-318).
TYPICAL FOUNDATION REINFORCEMENT 2#4 TOP AND 2#4 BOTTOM OR MORE AS NOTED. SEE PLANS FOR OTHER REQUIREMENTS.

CONCRETE MUST BE PLACED CONTINUOUSLY WITHOUT HORIZONTAL COLD JOINT. IF COLD JOINT IS DESIRED, APPROPRIATE VERTICAL REINFORCEMENT MUST BE PROVIDED.

COLD WEATHER PLACEMENT SHALL CONFORM TO PRACTICE SET FORTH IN ACI MANUAL OF CONCRETE PRACTICE.

EPROXY: SIMPSON ACRYLIC TIE (A.T.) EPROXY OR CEMENTITIOUS ANCHOR CEMENT - 6000 PSI 3 DAY. PREPARE HOLES PER ADHESIVE MANUF. RECOMMENDATIONS

STRUCTURAL STEEL

STRUCTURAL STEEL: A36/A572-50 Fy = 50 KSI, ALL OTHER A36 Fy = 36 KSI
STANDARD PIPE COLUMNS: ASTM A53 GRADE B
HOLLOW STRUCTURAL SECTIONS (HSS): ASTM A500 GRADE B Fy = 46 KSI

3" SCHEDULE 40 STD PIPE COLUMNS WITH ADJUSTABLE SCREW CAP PLATE MUST BE CERTIFIED BY SUPPLIER TO SAFELY SUPPORT A SUPERIMPOSED LOAD OF 20,000 LBS OR AS NOTED ON PLANS.

BOLTS: ASTM A307 FOR STEEL TO WOOD, ASTM A325 FOR STEEL TO STEEL.
WELD MATERIAL: E70XX
ALL WELDERS SHALL HAVE EVIDENCE OF HAVING PASSED THE AWS STANDARD QUALIFICATION TEST.

ALL EXPANSION ANCHORS TO BE Kwik BOLT 3, AS MANUFACTURED BY HILTI, OR STRONGBOLT 2 AS MANUFACTURED BY SIMPSON OR EQUIVALENT TO BE REVIEWED AND APPROVED BY GEBAU PRIOR TO INSTALLATION.

MASTIC COAT ALL STEEL BELOW GRADE.
ALL STRUCTURAL STEEL BEAMS SHALL BEAR MINIMUM OF 3/4" IN BEAM POCKETS WITH STEEL SHIMS & NON-SHANK GROUT AS REQUIRED OR AS NOTED. ALL BEAMS TO BE LATERALLY BRACED AT BEARING.

ALL STRUCTURAL STEEL FABRICATED AND ERRECTED PER AISC STEEL CONSTRUCTION MANUAL.

WOOD FRAMING

WOOD DESIGN VALUES IN PSI OR AS NOTED:
GLU LAM (GLULAM): 24F-V4 OR OF ARCHITECTURAL GRADE, OF CAMBER
GLU LAM (EXTERIOR USE): PORT ORFORD CEDAR
24F-V4 (4 SIMPLE SPANS)
24F-V4 (4 CONTINUOUS SPANS)
F_c = 2200 (TENSION), F_c = 1800 (COMPRESSION), E = 1,900,000 F_v = 265
LAMINATED VENEER LUMBER (LVL) F_c = 2600 E = 1,900,000 (1 1/2" WIDE MINIMUM)

FRAMING LUMBER (MAXIMUM MOISTURE CONTENT: 19%)
FOUNDATION: HEAVY FIR NO. 2 TRTD
F_c = 405 F_v = 150
BEARING WALL: HEAVY FIR NO. 2
F_c = 405 F_v = 150
STUDS < 8'-0": DOUGLAS FIR STUD GRADE
F_c = 300 E = 1,400,000 F_v = 80
STUDS > 8'-0": DOUGLAS FIR NO. 2
F_c = 300 E = 1,400,000
JOISTS & HEADERS: DOUGLAS FIR NO. 2
F_c = 300 E = 1,400,000
BEAMS < 8'-0": DOUGLAS FIR NO. 1
F_c = 300 E = 1,400,000 F_v = 80
BEAMS > 8'-0": DOUGLAS FIR NO. 1
F_c = 300 E = 1,400,000 F_v = 80
COLUMNS: DOUGLAS FIR NO. 1
F_c = 1000 E = 1,900,000 F_v = 1000
TREATED LUMBER: SOUTHERN YELLOW PINE NO. 1
F_c = 1000 E = 1,900,000 F_v = 175
TRUSS JOIST: LVL 2X6 SERIES
F_c = 3000 FT-LES, V_h = 1310 LBS E = 1,900,000 IN-LBS
F_v = 378 FT-LES, V_h = 1689 LBS E = 1,900,000 IN-LBS
F_c = 4450 FT-LES, V_h = 1945 LBS E = 460,000,000 IN-LBS
TRUSS/RAFTER LVL: ROEBUCKARD 1 1/2" JOIST DEPTH MIN OR PER PLANS
F_c = 1700 F_v = 1400 E = 1,900,000

CONTRACTOR TO CONTACT GEBAU, INC IF ANY OF SUPPLIED WOOD MEMBERS DIFFER FROM THE MATERIAL SPECIFICATIONS ABOVE PRIOR TO CONSTRUCTION.

NAILING PER INTERNATIONAL BUILDING CODE EXCEPT WHERE MORE OR LARGER NAILING SHOWN ON DRAWINGS.

ALL ROOF RAFTERS, JOISTS, TRUSSES, BEAMS TO SUPPORTS WITH 18 GA SIMPSON H43T FRAMING ANCHORS OR AS NOTED. TRUSS TO TRUSS CONNECTIONS SPECIFIED BY TRUSS SUPPLIER.

ALL PLYWOOD ROOF SHEATHING AND SUBFLOORING SHALL BE ENGINEERED GRADES WITH GRADE STAMP INDICATING APPROPRIATE MAXIMUM SPACING OF SUPPORTS (APA 308) OR ELSE CONFORMING TO IRC STANDARD FOR ROOF/FLOOR SHEATHING.

LOWER CHORD OF GABLE END TRUSSES ANCHORED TO WALL PLATE WITH 18 GA FRAMING ANCHORS AT 4'-0" ON CENTER AND LATERALLY BRACED TO ROOF FRAMING AT 8'-0" ON CENTER MAXIMUM SPACING.

ALL EXTERIOR STUD WALLS SHALL BE SHEATHED WITH 1/2" NOMINAL APA RATED PLYWOOD OR OSB SHEATHING AS NOTED WITH NAILING REQUIREMENTS NOTED ON DWGS.

PROVIDE CONTINUOUS WALL STUDS EACH SIDE OF WALL OPENINGS EQUAL TO ONE HALF OR GREATER OF NUMBER OF STUDS INTERRUPTED BY OPENINGS.

ALL WALL STUDS SHALL BE CONTINUOUS FROM FLOOR TO FLOOR OR FROM FLOOR TO ROOF.

BLOCK BETWEEN ROOF TRUSSES W/ SOLID 2x BLOCKING TO UNDERSIDE OF ROOF SHEATHING WHERE TRUSS EEL HEIGHT EXCEEDS

WHERE HEADER IS NOT DIRECTLY BELOW TOP OF WALL PLATE, PROVIDE 2x Cripple STUDS ABOVE STUDS AT 16" ON CENTER & ADDITION WALL BEAM AND COLUMN LOCATION EQUAL TO NUMBER OF STUDS OR PILERS OF BEAM ABOVE.

CROSS BRIDGE ALL ROOF AND FLOOR JOISTS AT MIDSPAN WHERE BOTTOM DOES NOT RECEIVE DRYWALL OR OTHER SHEATHING AS PER MANUFACTURERS RECOMMENDATIONS.

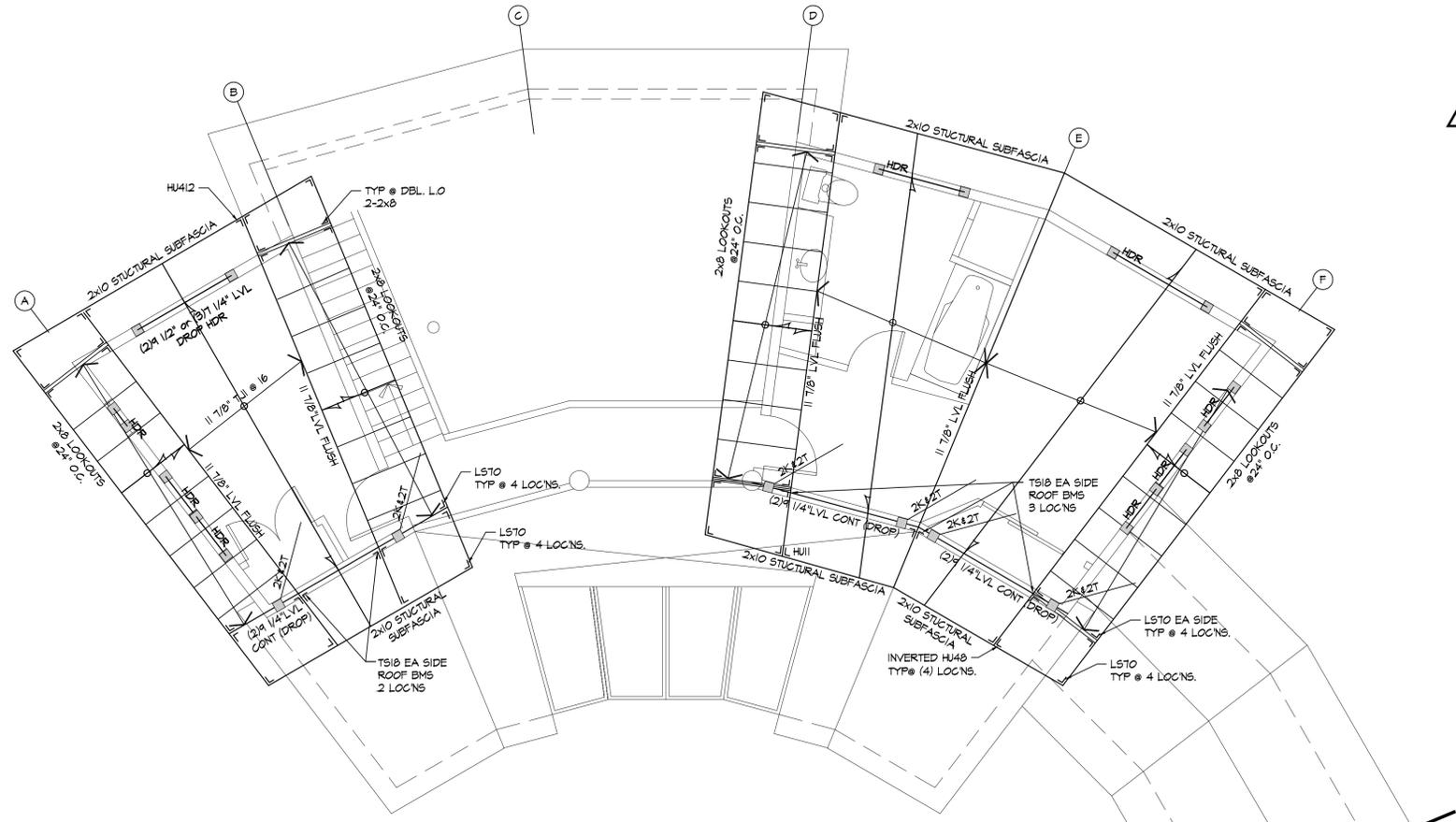
PROVIDE SOLID BLOCKING OR RPT JOISTS AT ALL JOIST SUPPORTS AND JOIST ENDS. ALL FLOOR JOIST AND ROOF TRUSS SYSTEM BRACING AND BRIDGING AND CONNECTIONS SPECIFIED BY MANUFACTURER.

ALL FASTENERS (NAILS, BOLTS & HANGERS) IN CONTACT WITH PRESSURE TREATED WOOD SHALL BE CORROSION RESISTANT AS SPECIFIED BY LUMBER MANUFACTURER.

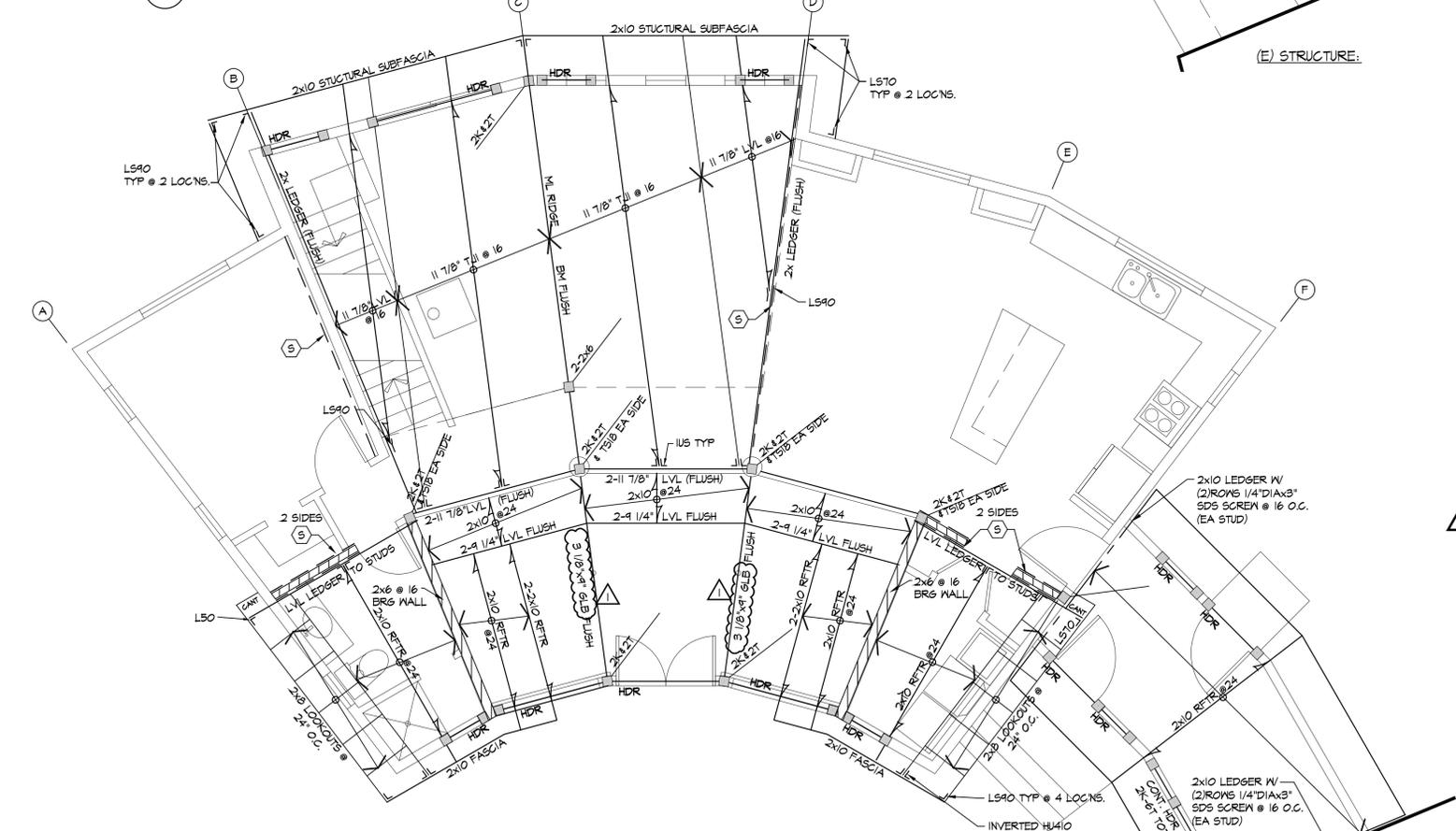
ALL UNTREATED WOOD IN CONTACT WITH CONCRETE INCLUDING BEAM POCKETS SHALL BE MOISTURE PROTECTED WITH CONTINUOUS VAPOR BARRIER PRIOR TO INSTALL.

ALL WOOD BEAMS TO BE LATERALLY RESTRAINED AGAINST ROTATION AT BEARING.

METAL CONNECTOR DESIGNATIONS ARE SIMPSON STRONG TIE COMPANY WITH NAILING PER SIMPSON CATALOG. ALL SUBSTITUTIONS TO BE RECOMMENDED BY CONTRACTOR & REVIEWED BY GEBAU PRIOR TO INSTALLATION AT CONTRACTORS EXPENSE.



2 ROOF FRAMING
SCALE 1/4" = 1'-0"



1 LOW ROOF FRAMING
SCALE 1/4" = 1'-0"

DESIGNER

James Ausberger, LEED-AP
684 Lakeshore Dr.
Boulder, Colorado 80302
1303.01506
jausberger@hotmail.com

STRUCT. ENGINEER

Gebau Consulting Engineers
1121 Broadway, Suite 201
Boulder, CO 80302
303-444-8545

PERMIT SUBMITTAL

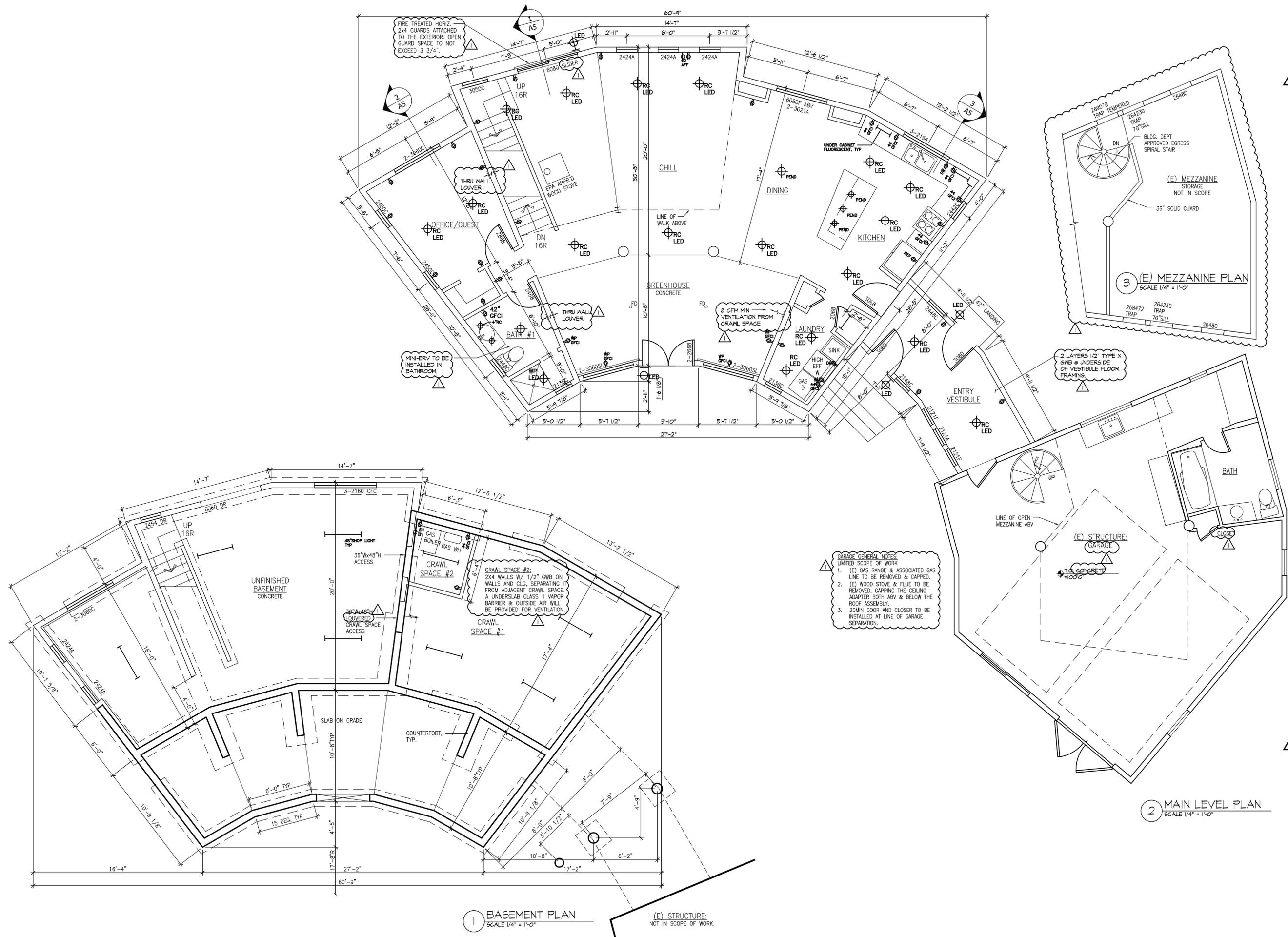
COPYRIGHT 2015
James M. Ausberger
Do not reproduce these drawings and specifications without the expressed written permission of James M. Ausberger. The drawings and specifications are instruments of service and shall remain the property of Mr. Ausberger whether the project for which they are made is executed or not. These drawings and specifications shall not be used for additions to this project by others except by the expressed written permission of James Ausberger.

SINGLE FAMILY

Oz Residence
684 Lakeshore Dr.
Boulder, CO 80302

DATE	ISSUED FOR:
06/16/15	
08/05/15	REVISION 1

DATE: 06-12-15
DRAWN BY: Oz
JOB NO:
CHECKED BY: JMA



DESIGNER
James Ausberger, LEED-AP
684 Lakeshore Dr.
Boulder, Colorado 80302
1.303.441.8545
jausberger@hotmail.com

STRUCT. ENGINEER
Gehan Consulting Engineers
1121 Broadway, Suite 201
Boulder, CO 80302
303-444-8545

PERMIT SUBMITTAL

COPYRIGHT 2015
James M. Ausberger
Do not reproduce these drawings and specifications without the expressed written permission of James M. Ausberger. The drawings and specifications are instruments of service and shall remain the property of Mr. Ausberger whether the project for which they are made is executed or not. These drawings and specifications shall not be used for additions to this project by others except by the expressed written permission of James Ausberger.

SINGLE FAMILY

Oz Residence
684 Lakeshore Dr.
Boulder, CO 80302

DATE	ISSUED FOR:
06/16/15	
08/05/15	REVISION 1

DATE: 06-12-15
DRAWN BY: Oz
JOB NO:
CHECKED BY: JMA

A2



Land Use

Courthouse Annex • 2045 13th Street • Boulder, Colorado 80302 • Tel: 303.441.3930 • Fax: 303.441.4856
Mailing Address: P.O. Box 471 • Boulder, Colorado 80306 • www.bouldercounty.org

Boulder County Building Safety & Inspection Services

November 20, 2015

Memo: For CBO review.

Prepared by:

Jon Rasmussen
Jrasmussen@bouldercounty.org 720-564-2637
Plans Examiner
Boulder County Building Safety & Inspection Services
P.O. Box 471
Boulder, CO. 80306

Address: 684 Lakeshore Dr.

Owner: James Ausberger

Boulder County Permit # BP-15-1022

Occupancy: R3 - 2012 IRC

Project Description: Addition to existing single family dwelling. Currently revised to included; Conversion of existing dwelling to unconditioned attached garage.

Project & Communication Summary:

1. The plans received at application (7/17/15) reflected a 2865 sqft conditioned addition to the existing 1100 sqft dwelling. The main level floor plan (sheet A2, which includes the area of existing dwelling), has the existing area room use labeled as “studio/shop -future garage, not in scope of work”. A projected HERS rating of 68, sized for 2720 sqft of conditioned floor area was provided.
A number of clarifications were requested in the first plan check letter sent 7/23/15. A plan check letter response was received 8/4/15 (please see attached). In this response letter, the applicant stated “the existing dwelling will serve as an unconditioned garage with a bathroom that allows drain down winterization”. The clarification of the garage conversion as part of this application precipitated the need for additional code requirements and additional information to be provided. A second plan check letter was sent 8/10/15 in response to James Ausberger letter of 8/4/15.
2. Additional information for moving forward with the application (as submitted and revised) has not been provided since 8/10/15. Applicant James Ausberger has requested a hearing with the Board of Review, which is scheduled for December 8.

Remaining Code issues to be resolved:

- **Chapter 11 compliance.**
- ❖ **If** the existing dwelling will remain as studio/shop, the adopted definition of conditioned space would apply.

Conditioned Floor Area

The floor area of a building that is heated or cooled or that is constructed with rough-in ducts or piping with the intent of it becoming heated or cooled at a future date. This includes: floor area with a fixed opening (such as a door or doorway) into heated or cooled space and unfinished basement space. Unenclosed unconditioned covered porches, decks and unconditioned garages are not considered conditioned floor area.

With a total conditioned floor area of 3965 sqft (1100 existing & 2865 new), per N1105.2.5.3.2 Performance Path for Additions, using Figure 1, Table 1 would be used to calculate the minimum HERS rating. A minimum HERS 40 **or** the design of the new construction would need to meet Table N1102.1 and Table 4 for Solar PV would apply.

- ❖ **If** the existing dwelling will be converted to unconditioned garage, staff has determined the 2865 sqft of new floor area will be reviewed as a New Single Family Dwelling. Using Table 1 for new construction, a minimum HERS **51** **or** the design of the new construction would need to meet Table N1102.1.

- **Additional IRC Building Code requirements & Recommendations:**

- ❖ Mechanical ventilation per N1103.5 .
- ❖ Cooking facilities must be removed from the existing kitchen.
- ❖ If the dwelling will be converted to unconditioned garage:
 - A Non-combustible floor surface.
 - A vehicle door.
 - Removal of wood stove and/or boiler.
 - Elevate gas fired water heater ignition source (if necessary) per G2408.2.
 - Gas fired appliances or mechanical systems must be protected from vehicle impact, per G2408.3.
- ❖ Adopted section R313.2. All new dwellings require an automatic fire sprinkler system.
- ❖ A radon mitigation system is required for all new single family dwellings and recommended for all remodels or additions.

Conclusions and open questions:

- With the exception of sunrooms, we have consistently considered floor area with a door into conditioned space (per the definition of “Conditioned Floor Area”), as needing to be included in the calculation for Tables 1 or 2, when using the Performance Path.

Example; we would not approve only half of a single story dwelling to be labeled heated and the other half to be unconditioned or “future conditioned”.

Question 1: Could we approve the dwelling conversion to unconditioned studio with a door to conditioned space?

Comment: If we can approve the conversion of the existing dwelling to attached unconditioned studio/shop (with a door to conditioned space), the minimum projected HERS required would be reduced to HERS 51.

- Staff has concluded the conversion of the existing dwelling to attached garage will result in the proposed 2865 sqft addition to be reviewed as a new dwelling and must meet all the code requirements for new construction.

Question; (from the applicant) why is this not considered just an addition to an existing dwelling?

Answer; you can have a garage addition to a dwelling but a habitable space addition (including a kitchen, bathing facilities & bedrooms) to a garage, is a new dwelling.