

Agricultural Uses in the Boulder County Land Use Code – What can I do on my Property?

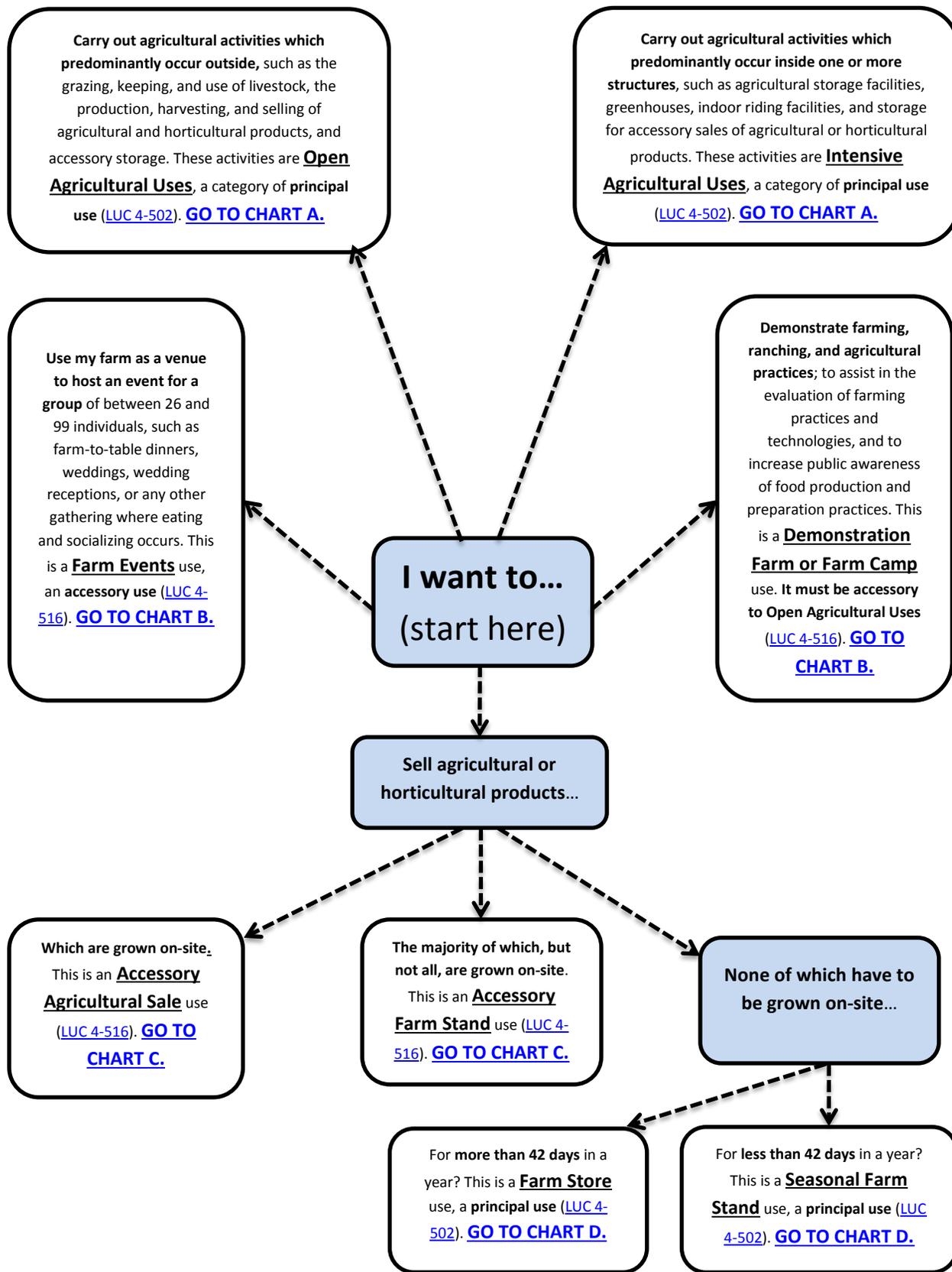


Chart A – Open and Intensive Agricultural Uses

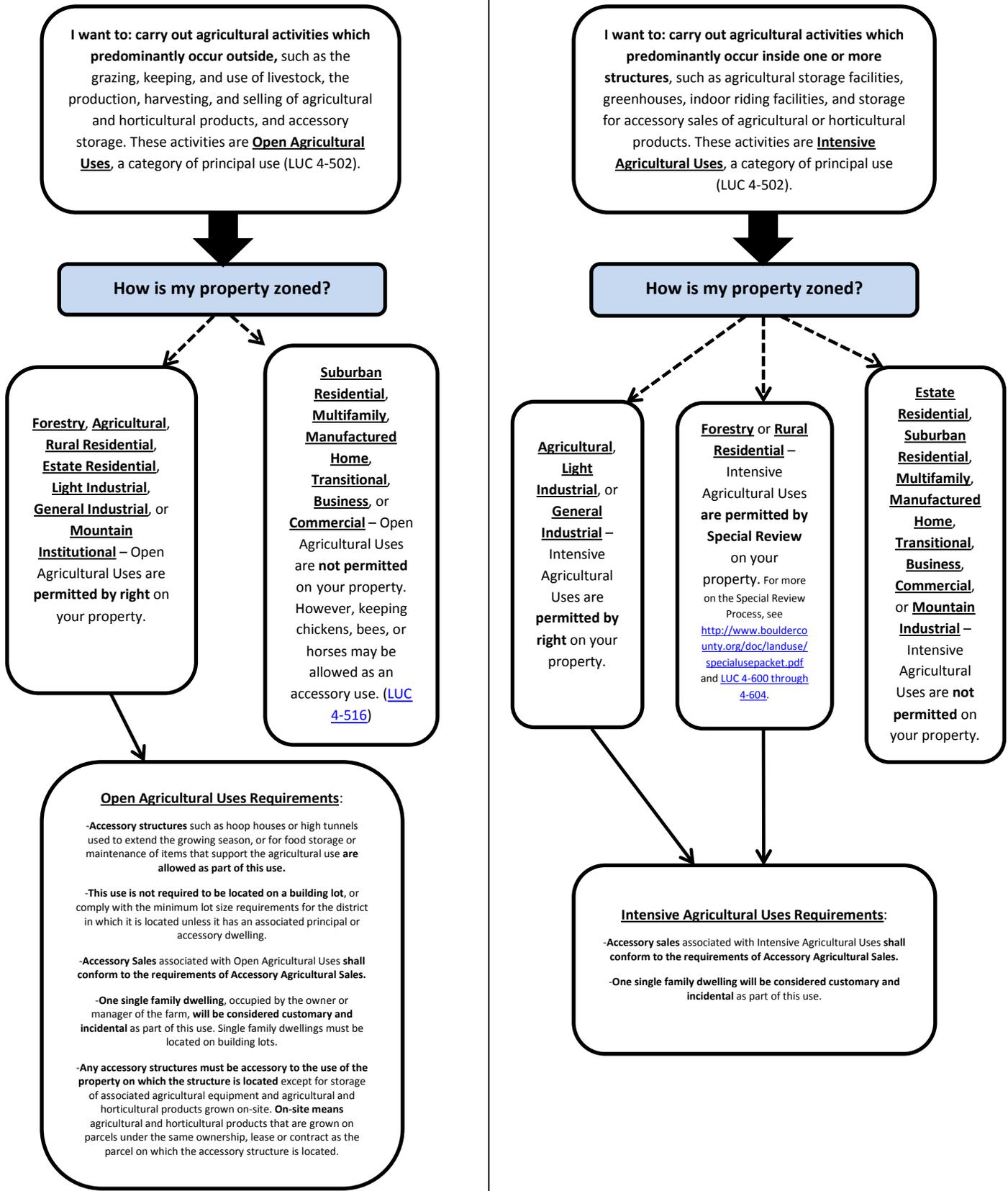


Chart B – Farm Events and Demonstration Farm or Farm Camp Accessory Uses

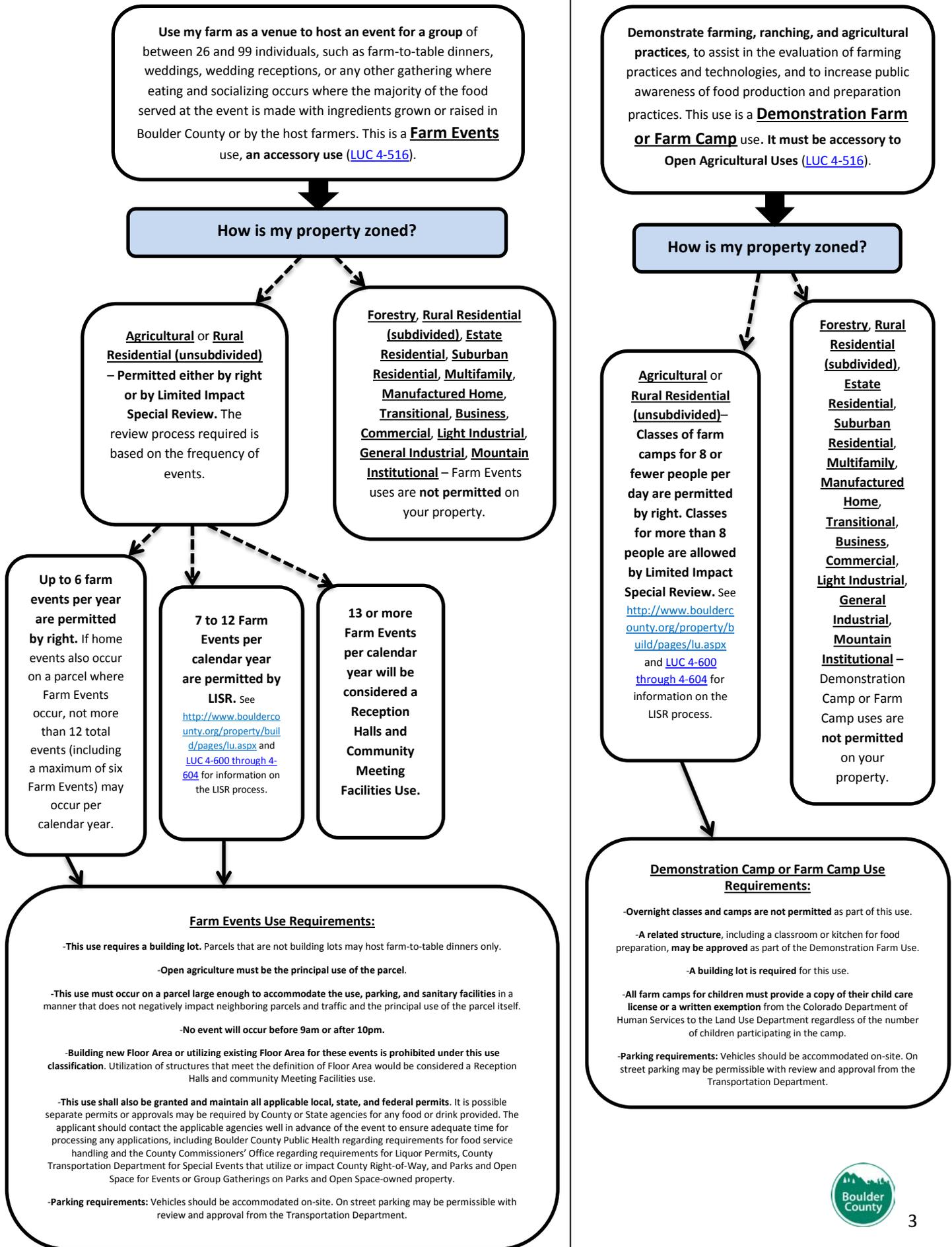


Chart C – Accessory Agricultural Sales and Accessory Farm Stands

I want to: Sell agricultural or horticultural products which are grown on-site. This is an **Accessory Agricultural Sale** use ([LUC 4-516](#)).

Nonagricultural and nonhorticultural products and products which are not grown on-site may comprise no more than ten percent of total annual sales.

I want to: Sell agricultural or horticultural products, the majority of which (but not all) are grown on-site. This is an **Accessory Farm Stand** use ([LUC 4-516](#)). Agricultural products grown on-site must comprise at least 60% of total annual sales.

Nonagricultural products may comprise no more than ten percent of annual sales.

How is my property zoned?

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Estate Residential, Forestry, Agricultural, Light Industrial, General Industrial, Mountain Institutional – Accessory Agricultural Sales are **permitted by right** on your property.

Rural Residential – Accessory Agricultural Sales are **permitted by right** on your property **ONLY IF** your land is **unsubdivided**. If your land is subdivided, this use is permitted by **Limited Impact Special Review**. See <http://www.bouldercounty.org/properly/build/pages/lu.aspx> and [LUC 4-600 through 4-604](#) for information on the LISR process.

Suburban Residential, Multifamily, Manufactured Home, Transitional, Business, or Commercial – Accessory Agricultural Sales are **not permitted** on your property.

Agricultural, Estate Residential, Light Industrial, or General Industrial – Accessory Farm Stands are **permitted by Limited Impact Special Review** on your property. See <http://www.bouldercounty.org/properly/build/pages/lu.aspx> and [LUC 4-600 through 4-604](#) for information on the LISR process.

Rural Residential – Accessory Farm Stands are **permitted by Limited Impact Special Review** on your property **ONLY IF** your land is **unsubdivided**. See <http://www.bouldercounty.org/properly/build/pages/lu.aspx> and [LUC 4-600 through 4-604](#) for information on the LISR process.

Forestry, Suburban Residential, Multifamily, Manufactured Home, Transitional, Business, Commercial, or Mountain Institutional – Accessory Farm Stands are **not permitted** on your property.

Accessory Agricultural Sales and Accessory Farm Stand Requirements:

- For purposes of these uses, the term **"on-site"** means products that are grown on parcels under the same ownership, lease, or control as the parcel where the Accessory Agricultural Sale or Accessory Farm Stand use is located.
- Agricultural and horticultural products grown on the farm may be processed on the farm to create a **value-added product** provided the majority of the ingredients are grown on-site.
- A **commercial kitchen** for the express purpose of processing agricultural products may be constructed and used in association with a Demonstration Farm Use.
- Value-added products can be sold on-site, but may require a license** from Boulder County Public Health.
- Parking requirements:** Vehicles should be accommodated on-site. On street parking may be permissible with review and approval from the Transportation Department.
- **Note:** The requirement for LISR for these uses may be waived if the Director determines the Accessory Agricultural Sales or Accessory Farm Stand will not have a negative impact on the neighborhood or Significant Agricultural Lands and that there is no potential for any significant conflict with the criteria listed in [Article 4-601](#) of this Code. In considering this determination, the Director shall notify adjacent property owners. The Director shall not issue the determination for seven days and shall consider any comments received from the public.



Chart D – Farm Store and Seasonal Farm Stand Uses

